

Northampton Recreational Facilities Maintenance Report City of Northampton, MA

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The City of Northampton Department of Public Works (DPW) has engaged Tighe & Bond to evaluate the City's maintenance strategy to help identify and quantify any short falls in field inventory and staffing levels that may be causing issues with maintenance. The following memorandum starts by assessing the City's Park and Recreational Facilities to understand the existing condition and age of each of the facilities. Facilities assessed as part of this report include all hard courts, athletic fields, playgrounds and structures on Parks and Recreation property. We then assess field usage demand to determine if the City is deficient in field space, which would limit the City's ability to properly maintain the fields. If a field is being overused, it will take an extraordinary effort to maintain an acceptable quality of turf. After we evaluate the City's need to expand field space, we will review typical organic field maintenance activities that have been successful for other communities. Once we review the discrete activities, we will apply them to a yearly calendar to understand what the monthly labor requirements are and compare them to the DPW current staffing availability. Finally, we will propose both short-term and long-term recommendations to the community to help them address concerns regarding Parks and Recreation maintenance.

In 2019, the City of Northampton (City) adopted Ordinance 19.166, which was an ordinance requiring the use of Organic Pest Management (OPM) practices in municipal places where children play. In that ordinance, OPM was defined as the means and approach to eliminating pests using only products derived from natural (animal or vegetable) ingredients, such as natural oils, minerals from the earth, and plants. In addition, to eliminating the use of chemical pest controls, the OPM aimed at eliminating the use of chemical fertilizers. Both of these products had historically been fundamental tools for the City to keep an acceptable stand of natural turf for the communities abundant athletic and recreation demand.

Since the adoption of the OPM, the DPW staff has observed that the organic turf maintenance strategy has increased demands on staff at the same time staff availability has decreased. To cover the shortness of staff, the DPW has flexed staff from other departments to help sustain maintenance on the facilities to the maximum extent practical. As a result, the City Department of Public Works is straining to meet stakeholder expectations regarding the desired level of service for these facilities.

It is important to note that there are other communities in the northeast that have switched from "synthetic" natural turf maintenance program to organic turf maintenance program. However, success can depend on a number of factors. These factors can include but are not limited to the number of facilities being maintained, staff available to maintain them, budget, construction of the facilities and overall demand. Typical struggles that can be created when switching from "synthetic" to organic turf maintenance include the following:

1. Organic fertilizers tend to take longer than synthetic fertilizers to have an effect as they need to decompose to provide the elemental nutrients to the plants. Synthetic

fertilizers can be provided that have both short and delayed reactions with natural turf to provide a fast acting and long-lasting nutrient source.

2. Organic fertilizers are less consistent and synthetic manufactured fertilizers and therefore results can vary.
3. The efficacy of organic weed control can be unpredictable. Products such as corn gluten have been used as a pre-emergent weed control and products like clove oil and citric or acetic acid have been used as a post-emergent weed control. The most effective means of weed control is aerating, top dressing and overseeding which are labor intensive activities
4. Organic pest control for pests that are damaging to natural turf includes beneficial nematodes which act as parasites for soil dwelling larva or above ground stages of certain pests. Other options include the milky spore or a bacterial called *Bacillus thuringiensis galleriae*. All of these natural options tend to be more environmentally friendly than their synthetic counterparts, however they do not provide consistent results as they are reliant on organisms to remove the turf damaging pests.

When switching from a synthetic management program to the organic management program communities may go through a learning process at how different fields react to different products. Fields may also be influenced on other environmental stressors in proximity to the facility that can have an impact on both pest and weed management programs.

1.1 City of Northampton Recreational Facilities Inventory

As part of this study the DPW has asked Tighe & Bond to evaluate the condition of and maintenance demand of ten (10) City of Northampton Parks. However, sixteen athletic and recreational facilities are currently maintained by the City DPW staff. This includes a split of ten (10) City of Northampton Parks and six (6) City of Northampton Public School Facilities in which the City DPW staff play a role in maintenance. Table 1-1 provided below details out the list of the sixteen (16) facilities currently maintained by DPW Staff:

Table 1

Recreational Facilities Maintained by City DPW

City of Northampton Facilities	City of Northampton Public School District Facilities
1. Agnes/Fox Playground	1. Ryan Road Elementary School
2. Arcanum Field	2. Leeds Elementary School
3. Florence Recreation Field	3. Jackson Street Elementary School
4. Lampron Park	4. JFK Middle School
5. Maines Field	5. Northampton High School
6. Ray Ellerbrook Field	6. Smith Vocational High School
7. Sheldon Field Park	
8. Veterans Field	
9. Pulaski Park	
10. Musante Beach	

1.2 Facility Assessments Introduction & Field and Hard Court Inventory

The first step in understanding the demands on staff for maintenance of the facilities was to quantify the number fields, and understand the quality of construction and general age of facilities. Typically, older natural turf facilities are not constructed by the same means as facilities are today, and can be more difficult to maintain. They can be lacking things like underdrainage, irrigation, and/or not have the proper grading, which can all be crucial in keeping a field in good condition throughout the year. As a first step, Tighe & Bond staff visited the ten (10) City owned facilities to evaluate them.

This evaluation included baseball and softball fields, multi-purpose rectangular fields, hard courts, playgrounds, restroom facilities, and key structures. Figures of each facility were created, using ArcGIS, to show an orthographic image of the site, approximate property line information, areas of mowing, and approximate areas of tree canopy. In addition, a city-wide recreational figure, depicting the locations of each facility in proximity to the Department of Public Works Building, was created. The city-wide figure can be found in Appendix A, and a figure containing an orthographic image of each individual facility can be found in Appendix B.

This facilities assessment has been designed to answer the following questions:

- What is the general condition of each athletic/recreation facility?
- Do the facilities comply with applicable athletic standards?
- Do the facilities meet the safety and accessibility needs of the City?
- Are there limiting barriers at the facilities that cause them to be non-compliant with applicable standards?

To summarize the number of facilities in which the City maintains and scheduled on City Park property please refer to Table 2 below:

Table 2
City Park Field / Court Inventory

Facility Type	Number of Fields/Courts
Multi-purpose Rectangular Fields	7
90' Baseball Diamond	3 ¹
60' Baseball Diamond	3
60' Softball Diamond	5 ²
Basketball Courts	4

Note #1 - Of the three 90' baseball diamond, only the one (1) at Florence Park meets dimensional requirements

Note #2 - Maines field is closed due to frequent flooding

1.2.1 Method of Evaluation Athletic Fields and Courts

Baseball/softball fields, multi-purpose rectangular fields, and hard courts were scored based on seven categories: site ADA, site safety, equipment condition, field/court geometry, field/court condition, and site drainage and irrigation using a scale of 1 (poor) to 4 (excellent). The scores of each category were then averaged, and the courts and fields were given a final evaluation score.

Tighe & Bond completed in-field measurements such that the fields could be compared with typical athletic industry standards for field geometry. These standards, found in Tables 3 and 4, are based on the type of sport and playing level. Recognizing this evaluation is for City fields where maximum flexibility in field space is paramount, we only noted severe deficiencies in field geometry. We refer to rectangular fields as multi-purpose rectangular fields (MPR), as it is rare that a rectangular field is only used for one sport or one level of play. In addition to dimensional standards, the fields, and courts were assessed based on numerous factors such as turf and pavement conditions, equipment condition, drainage ability, lighting, sun orientation, and spectator vantage. A list of all the factors that the courts and fields were scored on can be found in Appendix C – Attachment 1.

Table 3
Typical Length and Width Dimensions for MPR Athletic Fields

Field Type	Width (min-max) (feet)	Length (min-max) (feet)
U10 Soccer	105 – 135	135 – 180
U12 Soccer	105 – 135	135 – 180
U14 Soccer	135 – 165	210 – 240
High School Soccer ¹	165 – 240	300 – 360
Men's Lacrosse ¹	160-180	330
Women's Lacrosse ¹	180-210	330
Football ¹	160	360

Note #1 – Field dimensions are provided based on National Federation of State High School Association

Table 4

Typical Dimensions for Baseball and Softball Fields

Field Type	First Base (feet)	Backstop (feet) (Recommended)	Outfield (feet)
Youth Baseball ¹ (Major/Minor)	60	25	200+
High school Baseball ²	90	60	300+
Softball ²	60	25	185-235

Note #1 – Field dimensions based on Little League Baseball requirements

Note #2 – Field dimensions are provided based on National Federation of State High School Association

Table 5

Typical Dimensions for Basketball Courts

Court Type	Length (feet)	Width (feet)
High School Basketball	94	50

1.2.2 Method of Evaluation Playgrounds

Playgrounds were evaluated based on the Massachusetts Playground Safety Requirements and the National Safety Council Standards. During site visits, Tighe & Bond staff observed the existing conditions of the playground equipment and protective surfacing. In addition, Tighe & Bond staff observed fall zones, supervision sightlines, and the potential for on-site hazards to ensure that the playgrounds met the required safety standards.

Photographs and field-notes were compiled into a Playground Photo Log that can be found in Appendix C – Attachment 2.

1.2.3 Method of Evaluation Restrooms and Selected Structures

Restroom facilities and selected structures were evaluated based on 521 Code of Massachusetts Regulations (CMR) and the 2010 ADA Standards for Accessible Design. Tighe & Bond observed the internal and external conditions of selected structures, assessing roofing, exterior walls, foundation, interior walls, floor, ceiling, structural frame, stairs, guardrails and handrails, grating, access hatches, and plumbing fixtures.

Restroom and Selected Structures elevation forms can be found in Appendix C - Attachment 3.

1.3 Summary of Facility Evaluation

A more detailed summary of the deficiencies and observations of each facility is provided in Appendix C, and the attachments within Appendix C provide detailed backup information for those assessments. Tighe & Bond's observations were performed offseason for the fields and so evaluating the stand of turf was difficult, as maintenance activities on turf had ended for the year.

Overall, the fields were generally in fair condition. Most of the fields throughout the City have deficiencies in similar areas, which include signs of poor turf quality, lack of rotation of field spaces (wear marks are noticeable), signs of poorly draining fields, lack of site amenities, and aging equipment. While some facilities and equipment are in generally better condition (Florence Field), other fields would appear to benefit from capital improvements that would not only help in the maintenance of the facility, but make them more inviting for users.

As discussed above the fields and courts were assessed on a numeric scale of 1 (poor) - 4

(excellent) condition. Playgrounds and Structures, while not assigned a numeric score, were assessed on a similar scale. The conditions of the facilities at the time of Tighe & Bond's assessment are summarized in the table below.

Table 6
Parks and Recreation Facilities Assessment Summary

Facility/Field	Evaluation
1. Agnes Fox Playground	
Hard Court	Poor - Fair
Playground	Poor
Multi-Purpose Rectangular Field	Fair
2. Arcanum Field	
90' Baseball Diamond	Fair
60' Baseball Diamond	Fair
Basketball Court	Fair
Playground	Good
3. Florence Recreation Fields	
90' Baseball Diamond	Fair
60' Baseball Diamond	Fair
Multi-Purpose Rectangular Fields #1-4	Fair
Building with Kitchen and Restrooms	Good
Playground	Good
4. Lampron Park	
Playground	Good
5. Maines Field	
60' Softball Diamond	Poor
Restroom and Electric Closet	Poor
Playground	Fair
Pavilion	Poor - Fair
Storage Shed	Poor
6. Ray Eller Brook Field	
60' Baseball Diamond	Poor - Fair
Multi-purpose Rectangular Field	Fair
7. Sheldon Field Park	
60' Softball Diamond #1-4	Fair
Multi-purpose Rectangular Field #1-2	Fair
Basketball Court	Fair
Playground	Poor - Fair
8. Veterans' Field	
Playground	Fair
Skatepark	N/A
Basketball Court	Poor
90' Baseball Diamond	Poor
9. Pulaski Park	
Playground	Good
10. Musante Beach	
Restroom	Fair

2 Calculation of Field Demand

Based on the City of Northampton Parks and Recreation Schedule, a field use matrix was developed for all the athletic programs in the City of Northampton that use field space at City owned Parks and Recreation facilities, as seen in Appendix D. This matrix can help determine the extent to which the fields are used and what availability there is for periods of field rest. Quantifying the current demand for the fields also allows for the evaluation of the City’s total inventory of fields, as well as each type of field the City requires to meet their current programming needs.

An aggressively maintained, irrigated, organically managed natural turf field, that is rested for up to a third of the fall or spring growing season can, theoretically, sustain up to approximately 200 team-uses per year and still maintain a high quality and safe athletic turf. For this evaluation, we define a use as 1.5 to 2 hours game or practice involving 10-20 athletes. This number is not an exact science, but is based on experience in other communities with similar demand and can vary year to year based on weather, field conditions and type of uses.

The totals from this matrix are provided based on the 2023 athletic schedule as provided by Park and Recreation staff, and reflect all the scheduled field uses for each field. However, based on our discussions with DPW and Parks and Recreation staff, it is believed there is a significant portion of “informal” uses that are not captured in the Park and Recreation schedule. These uses can range from informal practices by teams to the more recreational uses such pick up games and non-formal recreation. To include these in our evaluation, we have applied an additional use factor for each of the fields, where we have estimated the non-formal uses at approximately 30%. Refer to a summary of the number of uses by Table 7 below:

Table 7
City of Northampton Field Usage Summary

Facility	Field	Total Scheduled Uses Per Field	Total Usage + 30% Informal Uses
Agnes Fox Playground	MPR	Informal Use	Informal Use
Arcanum Field (Irrigated)	90 Foot Baseball Diamond	64	83
	60 Foot Baseball Diamond	187	243
Florence Recreation Fields (Irrigated)	90 Foot Baseball Diamond	142	185
	60 Foot Baseball Diamond	123	160
	MPR (Space 3)	121	157
	MPR (Space 4)	121	157
Maines Field	MPR (Space 5)	120	157
	60 Foot Softball Diamond	64	83
	60 Foot Baseball Diamond	159	207
Ray EllerBrook Fields	MPR (Irrigated)	139	181
	60 Foot Softball Diamond (Space 1)	159	207
Sheldon Field Park	60 Foot Baseball Diamond (Space 2)	168	218
	60 Foot Softball Diamond (Space 3)	79	103
	60 Foot Softball Diamond (Space 4)	14	18
	MPR #1	12	16
	MPR #2	Informal Use	Informal Use
	90 Foot Baseball Diamond	Field Closed	Field Closed
Total		1672	2174

Note: Intended usage is to remain around 200 uses per year. Field usage indicated in Orange is over the recommended number of uses.

It is important to note that there are several factors that may have suppressed scheduled uses as summarized above. For example, Maine's Field was flooded in July of 2023, and as result had to be shut down. While it was not documented where the rescheduled uses were re-allocated to, it is presumed that the uses from Maine's field were pushed to other 60' Softball Diamonds located at Sheldon Field Park. In addition, there were a number of cancellations of games and practices due to fields that had to be shut down, as it was an extremely rainy year. For the Fall season of 2023, some fields were closed due to wet weather, on average 7 days a month in September and October, which equates to roughly 25% of the time. When a field has to be closed that much, it can feel like the City needs additional fields, as this can create a domino effect with scheduling.

Additionally, some City recreational groups used fields owned by the City of Northampton Public School District including, but not limited to, the Northampton Youth Football League using fields at Ryan Road Elementary School, and Recreational Soccer playing at JFK Middle School. We have assumed for the purposes of this analysis that those user groups will continue to be able to use those facilities moving forward.

2.1 Inclement Weather Policy

From our discussions with the City Staff, it sounds like the City has an inclement weather policy. However, as part of this report on field maintenance, it is important to stress how crucial an inclement weather policy is.

It should be noted that it only takes playing once on a very wet field to destroy the turf root zone for that season. An effort must be made not to play games, or even practice on fields that are excessively wet. Based on the conclusion that the City has many fields that are poorly drained, an inclement weather policy is strongly recommended as a management tool for preventing damage to fields in the event of inclement weather and for a period after inclement weather.

The enforcement of a restrictive inclement weather policy by field managers is the single best management practice available. A typical policy addresses the importance of not playing on fields during wet conditions. Such a policy protects the safety of players, the condition of the fields, and serviceability of the facilities. It is also fiscally responsible to local taxpayers. The policy should outline condition assessment procedures and the responsibility of the Park and Recreation, DPW, athletic team staff and players, as they relate to inclement weather and field use. A complete inclement weather policy should include information on its purpose, implementation procedures, field closure guidelines, communication processes, procedure enforcement and penalty procedures. The inclement weather policy should be provided to all permitted field users, as well as posted at all facilities to inform unscheduled users of the importance of prohibiting use during inclement weather.

It is our understanding that the City's Inclement Weather Policy is as follows:

- Evening Programs will be cancelled after 3:30 p.m. in the case of inclement weather
- Cancellation will also be posted on the City's website, under cancellations
- Weekend decisions are usually made between 7-8 a.m.
- Stakeholders may call the Recreation Department's cancellation hotline at 413-587-1044 for cancellation information

2.2 Field Resting Policy

Resting field space is another important tool to managing the quality of natural turf. Obviously, a field with 200 scheduled uses stretched out over the year (May through October), behaves differently than if this use was broken up with rest period(s) provided. Ideally, a natural turf field should have a 30-day rest period during the active growing season (spring or fall) to repair the root zone damage it has sustained and to propagate new growth. Alternatively, while this rest period can be in the summertime, a summer rest period is less effective, as the turf grass is somewhat dormant at that time.

The key to an effective resting period is of course proper communicating regarding which fields are being rested and developing a strategy that allows the community to still provide enough field space for to meet recreational demand while taking fields offline. For baseball and softball fields it tends to be easier to find a 30-day rest period in the fall when demand is typically less intense. For multipurpose rectangular fields we typically find that the strategy can require a bit more planning. Some strategies for finding resting periods for multi-purpose rectangular fields are as follows:

- Find a flex space – This space may not meet the needs for user groups for games but allows for practice uses. For Northampton this could be Veteran’s field or another underutilized space. This combined with proper scheduling can allow for field space to be taken offline
- Rotate fields sizes to provide rest. – One (1) U14 field can fit Two (2) U10 soccer fields. In the opposite direction. By moving two U10 fields to U14 location and resting the original location for the U10 fields you can limit the number of fields that the community is deficient in. Also, by changing the direction of play you can limit overlap of typical wear areas
- Early or Late season rest – Typically early in the season or late in a season we find that the demand for fields is less intense. If City can front load some of the rest periods early in the season or late in the season they can minimize impacts to users

It is also important to note that we prefer to advocate for 30-day rest period for fields but this is a decision that should be made by whomever is managing the fields. Depending on the type of play, the condition of the field, the construction of the field and maintenance practices, the length of the rest period may vary.

While a field resting policy is ideal it is not always feasible for communities to rest fields. Reasons for not being able to rest fields can include lack of usable field space, scheduling issues, and insufficient maintenance staff to be able to convert fields and rotate spaces which can increase the maintenance workload. Increase in work load can include additional mowing, striping and raking of fields. For a community that has been straining to meet recreation maintenance demand a field resting policy could cause more harm than good.

When fields cannot be rested, the City should continue to observe field conditions to ensure the playing surface is still safe. If a field space becomes unsafe it should be shut down. Observations should include making sure the surface isn’t becoming over compacted and making sure any rutting or deterioration of high use areas does not become a tripping hazard. Fields that cannot be rested may also require additional fertilizer application and maintenance to be able to keep up with year around demand. Open communication between field users, field schedulers and maintenance staff is crucial for monitoring the field condition and best maintenance strategies.

2.3 Conclusions on Field Demand

Scheduling of all of the user groups across all of the different types of fields can be a complex task that takes a lot of flexibility. It must weigh a number of variables including, field rest, user demand, maintenance staff availability, and keeping open fields available for non-organized activities. Given that these schedules change every week, month, and year to year, it was not our intent to quantify every specific use at every field. As part of this analysis, we were looking to analyze if there is a surplus of demand that, regardless of the maintenance effort, could not be supported by the current field inventory.

Based on our review of field demand, it does not appear that the fields were generally overused in 2023. Typically, when we see fields that are overscheduled during a given year, we can see number of uses well over 300 uses per field and that would indicate a deficiency in field space. In this case, we have noted four (4) fields that, with informal uses, may have had over 200 uses. However, there are additional field spaces available that have well under 200 uses. If those spaces are properly maintained and scheduled, they could handle the redistributed demand from the overused fields.

For the purposes of a summary, we have broken down the number of uses per field type, as seen in Table 8 Below:

Table 8

Uses by Field Type

Field Type	Number of Fields ¹	Number of Uses	Average Use per Field Type
Multi-Purpose Rectangular Field (MPR)	7	667	95
90' Baseball Diamond	2 ¹	268	134
60' Baseball Diamond	3	621	207
60' Softball Diamond	4 ¹	629	157

Note #1 –The 90' Diamond from Veterans Field has been removed due to that facility being closed, and Maine's Field has been removed from field inventory for frequent flooding.

2.4 Stakeholder Engagement

As part of this study, we also reached out to a few key stakeholder athletic groups to determine if our analysis meshed with their experience as an athletic field user in the City of Northampton. In general, the feedback we received seemed to correlate with our findings. The groups indicated that with proper maintenance and planning, the existing field space within the community should be sufficient to meet current demands. The feedback we did receive included some of the following commentary as it relates to field demand issues:

- When resting or closing an athletic field, user groups can get short on field space available. Specifically, when parents may have multiple children in a league and are anticipating both being at one facility.

Tighe & Bonds Comment: This can be very difficult to plan for every scenario. Especially when a community is trying to rest fields. When possible if a field is being rested if the alternative space can be provided on the same site it should. However, if a program is already maximizing space on a site certain users may need to be relocated for the rest period to occur.

- Northampton Soccer League is continuing to grow and in future may look for additional space.

Tighe Bond Comment: It would appear that the City already has enough field space to allow the Northampton Soccer League to grow. However, they may need to split demand between multiple facilities to allow for that growth. Currently Northampton Soccer League uses Florance Fields extensively and may not be able to expand within that facility.

- At times Northampton Soccer League could use an additional 11v11 field.

Tighe & Bond Comment: Field striping at Florance fields could be flexible. The community should be discussing the user groups' needs and determining if fields could be overlapped such as two (2) U10 fields within one (1) U14 field to provide as much flexibility within one field space. If additional field space is needed alternative underutilized fields at other City Owned facilities should be considered for expansion.

- A few softball fields were unplayable in 2023 due to tree maintenance and flooding. Not having lights or alternative field space made activities difficult to schedule.

Tighe & Bond Comment: It is our understanding that the 2023 year was made difficult for softball for a couple of reasons. With the closing of Maines Field, it pushed softball uses to Sheldon Field Park which made scheduling of uses difficult. Additionally, fields at Sheldon Field had deficiencies that made the site not favorable to play that could have repaired with minor effort from the DPW. We would recommend the implementation of a work order system or some standard method of communication that directors of leagues could use to help track repair of minor deficiencies.

- Leagues could benefit from additional equipment and/or replacement equipment.

Tighe & Bond Comment: A standardized form for equipment request and/or replacement equipment should be provided. This should only pertain to the permanent equipment that stays at the field. For example, this should include soccer goals, bases, or storage sheds/bins.

- Lighting would help alleviate scheduling issues if we could have one lighted field of each type.

Tighe & Bond Comment: Lighting is a great way to extend field use time in the northeast particularly in early spring and late fall. The only issue with lighting is that when it extends the time a field is available it tends to lend a natural turf field to being overused and having poor quality turf. If the community was to consider lighting fields Tighe & Bond would recommend either a strict scheduling policy to make sure the field is not being overused or consider a synthetic turf field as an alternate.

- League directors and coaches are being asked to stripe fields for practices and sometimes games.

Tighe & Bond Comment: We would recommend that, when possible, field striping activities remain with the DPW as much as possible. However, striping equipment and materials were provided to user groups as a means to continue to provide services to the user groups when DPW Staff was attending to other City issues. We would recommend collaboration between user groups and the DPW to determine the best means to provide field striping throughout the season.

- *The grass is often left too high and we would like to have the grass cut lower like other fields outside of the City of Northampton we play on.*

Tighe & Bond Comment: Natural grass height on organically managed fields play a crucial role in how well fields hold up over a given season. This includes managing weed growth and keeping the natural turf from drying out. The typical desired mowed height for organically managed natural turf is 3". Please refer to section 3.1.5 for additional information

3 Facility Maintenance

The Department of public works is currently providing general maintenance at all ten (10) city owned Parks and Recreation facilities. Maintenance activities include maintenance and striping of the athletic fields, general site maintenance (mowing non-athletic areas, line trimming, playground maintenance), and tree canopy maintenance. It is our understanding that the DPW subcontracts out regular maintenance of buildings, including cleaning and trash removal, as well as maintenance of the irrigation system. This facility maintenance section focuses mostly on maintenance activities related to fields, but also captures other demands on DPW staff for general site maintenance and tree canopy maintenance.

The City of Northampton DPW not only helps maintain athletic facilities at the City Parks, but also assists the City of Northampton School Public School district in mowing large grass areas and providing assistance with striping fields at Smith Vocational Regional High School. It is our understanding that this agreement will remain, and so we have assumed that the City DPW will continue to these maintenance activities. This will give the City an idea of what kind of staffing levels we would recommend for the current anticipated maintenance demand.

In addition to maintenance of Parks and Recreational facility, as well maintenance at the high school, we understand that the same staff provides maintenance at cemeteries and pocket parks. To help simplify this analysis, we have focused on Parks and Recreational facilities that have athletic facilities within them, and have not included any assessment of maintenance required for cemeteries and pocket parks.

As discussed above, there are a couple of key factors that can indicate how well a field can hold up during a season, and how intensive maintenance activities are required to upkeep a field. The two largest indicators are the age of the facility, which can indicate the type of construction of natural turf section, and the second being presence of irrigation. While neither of these indicators is enough to determine a fields ability to withstand use alone, we like to review these indicators for reference. As can be seen in Table 9, other than Florence Recreation Field and Ray Ellerbrook Field, the age of the facilities is outdated, which was consistent with our observations of field condition. While we are certain that some of these facilities have seen renovations since their construction date, our general observation is that many of the facilities have reached the end of their usable life span and are in need of renovations.

Table 9
Facility Age and Irrigation

Facility	Approximate Year Constructed	Irrigation (Yes or No)
Agnes/Fox Playground	1950s	No
Arcanum Field	1930s	Yes - All
Florence Recreation Field	2015	Yes -All
Lampron Park	1910s	N/A
Maines Field	1960s	No
Ray Ellerbrook Field	2000s	MPR Only
Sheldon Field Park	1950s	No
Veteran's Field	1940s	No
Pulaski Park	Renovated in 2016	N/A
Musante Beach	1980s	N/A

Athletic fields that are organically managed can support approximately 200 uses throughout the season. This section summarizes those activities that are routinely accomplished in the maintenance of high-quality, organically managed athletic fields, and provides recommendations in regard to maintenance activities, resources, and staffing requirements for proper maintenance of the athletic fields in the City.

Specifically, turf grass management practices can vary from facility to facility according to the type of play that is occurring in each locale and according to the stage of development of the athletic fields. Soccer, softball, and baseball each dictate a different set of conditions that require unique management approaches. Additionally, specific areas within soccer fields are subject to different stresses (e.g., goal mouths, versus midfield and sideline areas). Athletic facilities cycle through various stages of development including construction, grow-in, and maturity, each requiring a different approach to management.

Based on the inventory of the facilities and fields, the projected field demand, and our conversations with the various stakeholders about the anticipated level of service for fields, we created a maintenance and operation model to estimate staffing requirements. We typically like to break fields out into different maintenance levels. An "A" quality field typically is a stadium field at a high school and/or college campus. This field usually has a restricted number of uses and has a more intensive maintenance strategy to provide a high-quality field. Usually, communities have one or two of these fields. A "C" level field is typically not intended to be used regularly for competitive athletic events, but is intended to be more of a casual space for informal uses such as recreation camps. For the purposes of this assessment, we assumed that all of the Parks and Recreational fields being maintained would be "B" level of service fields. A "B" level of field is typically geared toward providing a safe athletic field space that is capable of hosting competitive events of Highschool and recreational users, but is also not such a financial burden to community such that they would want to prohibit casual use of the field.

Based on "B" level of field and other maintenance requirements we can start to build out a maintenance schedule that will help us quantify staffing needs. However, before we build out a schedule, we need to identify each of the discrete maintenance activities and approximate the personnel hours required to complete each task.

3.1 Maintenance Activities

This section describes each of the maintenance activities, documenting the estimated manpower to perform each task. Each activity has been given a symbol that is used in the Maintenance Schedule. For Example, the letter "F" is used to symbolize the Organic Fertilization activity. The following sections provide a description of each recommended maintenance activity. The symbols are provided in parentheses after each activity name.

The maintenance activities described below have been tailored to the City of Northampton. We have done this by discussing with the City its current maintenance activities and what they have found to be successful. We have revised and updated maintenance activities for non-organic natural turf maintenance to consider the Organic Pest and Fertilizer Management program within the City. To provide some guidance on best management practices on organic natural turf fields, we have referred to the Toxics Use Reductions Institute's (TURI)- "Building an Organic Maintenance Program for Athletic Fields: Guidance from Experts and Experience Communities" to better inform the maintenance activities that are specific to organic fields. We felt this guidance to be most applicable as it was based off of information provided from successful organic management programs in the northeast including Springfield, Marblehead and Marthas Vinyard, Massachusetts.

A summary table of each activity discussed below, along with the approximate personnel hours assigned to each task, is provided in Appendix E.

3.1.1 Soil Sampling, Spring Inspection, Work Order Scheduling (I)

Soil tests should be taken annually for each athletic field and open grass area by early March. Samples can be submitted to the Agronomy Laboratory at the University of Massachusetts. The testing will establish the in-situ pH and micronutrient deficiencies for each facility, and prescribe an amendment strategy to result in optimal turfgrass development. Additionally, by establishing the actual turfgrass nutritional requirements, rigorous testing of each field results in “as-needed” applications that are environmentally sensitive and cost effective. Results of these tests should be due to City of Northampton by April 1st each year.

Per the guidance provided by TURI the anticipated variables to measure during soil testing include the following:

Table 10
Soil Testing Requirements¹

Physiochemical	Nutrients	Biological
Texture	Phosphorus	Total organic biomass
Moisture	Potassium	Active bacterial biomass
pH	Nitrate	Active fungal biomass
Organic Content	Calcium	Nematodes

Note #1 – Soil testing requirements as provided by TURI’s- Building an Organic Maintenance Program for Athletic Fields: Guidance from Experts and Experienced Communities

Preliminary turf inspection of facilities can be performed at the same time by parks staff. In addition to the turf inspections done in conjunction with soil sampling, maintenance staff can observe the ‘base line’ conditions of the facilities they work on. Maintenance staff should be the most familiar with individual sites and can identify possible safety and maintenance issues such as divots, low spots, broken sprinkler heads, and the turf moisture level. Any observations need to be reported to and documented by the Operations Manager.

An individual supervisor can accomplish soil testing and preliminary site inspections in about 1 hour per field.

3.1.2 Spring Clean Up, Service Irrigation, Inspect and Repairs (S)

The spring cleanup should be a deliberate, planned evaluation and repair program that addresses each facility in the City. It should begin as early as weather allows equipment to be on the fields without damaging the turf, usually in mid-April.

There are a number of valuable facility inspection checklists for overall park safety and serviceability, which should be executed for each playing field and its associated facilities (seating, scoring, dugouts, concessions, pathways, fencing, etc.). The resultant inspection record, and the recommendations therein, must be compiled into a prioritized listing of maintenance and repair requirements that may be recommended for budgeting purposes.

Irrigation:

We understand that the maintenance of irrigation systems is not provided by City staff and is currently handled by a vendor. For the purposes of this study, we have assumed that the

City will keep this agreement and so we have not allocated any labor to the maintenance of irrigation systems at the athletic facilities.

For purposes of a determining staffing requirements, it is impossible to predict the overall spring clean-up and repair effort required, as it will vary from year to year and from facility to facility depending on things like winter damage, surrounding tree cover, vandalism, and deferred maintenance. We have assumed that spring clean-up activities would take about one (1) Supervisor hour and three (3) laborer hours to complete per field.

3.1.3 Organic Weed and Pest Control Applications (P)

Herbicide and Pesticide applications are a critical tool for turf managers in maintaining a vigorous stand of turf. The proper use, monitoring, and application of these materials is vital in order for them to work effectively for their intended purpose, avoid damage to the environment and be cost effective. Many communities are still struggling with which products are best fit for their facilities and still meet the criteria of being organic. Some of the more commonly accepted organic weed controls are corn gluten meal, sodium chloride, and chelated iron. In addition, some weeds may be a sign of other chemical imbalances in the soil and an herbicide may not be required. For pest control, a common practice is to add beneficial nematodes, which can help mitigate pests within the field area.

For the purpose of helping the community make the best choices, we would recommend that the City hires a Turf Manger consultant that can help them decide on best management practices. This is likely a consultation once a year to review the condition of fields and the results of the soil testing. The key to proper herbicide and pesticide application is an integrated approach that includes all the best practices for moisture, fertilization, and turf stress control, as well as proper seasonal timing.

The superintendent should approve of any Organic herbicide and pesticide application program used on public property prior to application, an annual review of procedures is recommended.

For application of selected pesticides and herbicides, we have assumed 0.5 hours of Supervisor time and 3.5 hours of laborer time per field.

3.1.4 Fertilizer Spreading (F)

Fertilization is done to provide micronutrients to the soil and acts as a "food" for the turf-grass plant. Fertilization should generally be done in the early spring, summer and fall. This ensures that sufficient nutrients are available to develop healthy root zones during the peak growth period of May and June. The amount and type of fertilization should be adjusted for each field or facility based on the soil tests performed, as noted above during spring inspections. As-needed applications of fertilizer save on materials costs and help prevent algae problems in adjacent waterways.

While actual fertilizer quantities will be dictated by soils testing results, for planning and budgeting purposes, it is assumed that fields will receive approximately three (3) applications of fertilizer per year. We would recommend that the application of fertilization is confirmed with the Turf Manger consultant, as timing organic fertilization with organic weed in pest control can play an integral role in keeping a healthy stand of turf. Organic fertilizer usually consists of insoluble organic nitrogen from plants and animal proteins and have zero phosphorous, which can be dangerous for our waterways. The organic fertilizer also should be slow release to prevent burning of the turf.

A granular materials spreader generally applies fertilizer. Organic fertilizers can be applied by hand, with walk-behind spreaders or contracted spreaders for larger applications. Calibration of spreaders must be done to equipment regularly, according to ground speed, type, and size of material, in order to accurately apply materials to the turf at the correct rate. Soil testing will recommend application rates for specific nutrients, and is determined by the needs of the turf and type of soil, which affect the movement of the fertilizer and availability of nutrients to the grass plants. Application must be done in a uniform, even pattern to avoid stripping, caused by too much or not enough fertilizer applied. Turf should be watered after application of materials to work it into the soil and avoid tracking.

For application of selected pesticides and herbicides, we have assumed 0.5 hours of Supervisor time and 3.5 hours of laborer time per field.

3.1.5 Cut Grass, Re-Stripe, Rake out Infield (Baseball) (MR/MB/HG)

Mowing is done to avoid having the grass go to seed, to maintain a safe, playable surface, and to maintain a healthy vigorous stand of turf. Mowing is also performed to maintain a healthy, dense viable carpet of plants and to encourage root depth, grass strand density, root mass, and rhizome development. It is done to keep the plants at a height that provides safe footing, cushioning, and soil retention.

During the playing season, mowing on most fields will normally be conducted twice a week. With organically managed fields, the mowing operations need to happen more often, as you cannot typically cut organically managed fields as low as you could with synthetical or "inorganically" managed fields. Mowing is usually included with the striping of fields. Typical mowing heights for the growing season should be 3 inches during the spring growing season until mid-July, to approximately 3.5 inches from mid-July to mid-September during the dry hot summer season, and then gradually brought back down to 3 inches during the fall season. Generally, not more than one-third (1/3) of the blade should be cut at any one time during any mowing activities. It is important to note that this may cause additional down time of fields or less desirable playing conditions. If a field has a rainy week where maintenance staff can't cut the grass for a week and the stand of turf grows to 5", it may take a couple of mowings before the turf is back down to a desired height.

Keeping the grass at a higher height not only keeps the grass healthier, but also helps to shade out weed growth and keep moisture in the soil below during the drier months of July and August.

To prevent damage to the grass blades and root systems, mowing should not be conducted when frost is present on the ground, the ground is muddy, or during rainfall. It should be expected that grass will go dormant and may 'brown-out' both in the winter season, and in the heat of the summer. Clippings may be discharged on site. The direction of mowing should be changed each week to avoid wear patterns on the turf. Mowers should be maintained regularly to ensure even, sharp blades. Mowers are not to be refilled on the playing surface, and equipment should be checked regularly for fuel, oil or hydraulic leaks that can kill natural turf.

Using hand mowers, rotary mowers and reel mowers can accomplish mowing practices. Reel mowers are preferred for the best cut, and height control. The General guidelines for mowing are:

1. Mower blades should be kept sharp at all times, even if this means sharpening every day.
2. Refill mower fuel prior to starting work, away from lawn areas.
3. Patrol site and remove sticks, litter, and debris from mowed areas.
4. Remove no more than 1/3 of the grass plant at any one mowing.
5. The rate of turf growth determines mowing frequency, but no more than seven (7) days between mowing is recommended when possible.
6. Mow in alternate direction to avoid layover of turf blades, wear patterns, and compaction.
7. The user groups using the facility should agree upon the height of the turf with the maintenance staff. No shorter than three (3) inches for organically managed fields is recommended.

For baseball and softball fields, the MB activity includes grooming of the infield, as well as use of application of surface infield conditioner in localized areas as necessary. We have assumed that infields will be raked four (4) times a week for about a half hour each time, or a total of 2 hours per week. Completion of mowing and striping only is assumed to require two (2) hours of labor twice (2) a week, for a total of four (4) hours. We have also assumed a half hour of labor for supervisor each week.

For multi-purpose rectangular fields (MR), completion of mowing and striping only is assumed to require two (2) hours of labor, twice (2) a week, for a total of four (4) hours. We have also assumed a half hour of labor for the supervisor each week.

Due to the fact that the DPW also mows athletic field spaces for the high school, we have included an activity strictly for the mowing of fields without having to stripe them. We have assigned this task the designation of (HG) and for this activity we have to assume 3.5 hours of time to mow and 0.5 hours of supervisor time. It should be noted that the district does not allow mowing activities when kids are at the schools, which can provide a very limited time of mowing to occur at school facilities.

3.1.6 Aeration (A)

Aeration alleviates compaction and develops deep-rooted turf. It is accomplished by creating holes in the root zone of the soil profile, which allow moisture, nutrients, and oxygen to penetrate to the root zone. Aeration also breaks up thatch, which helps contribute to the organic content of the soil and breaks the mat on the soil surface.

Our recommended aeration method is a ½"+ hollow tine aerator that removes plugs from the soil. When done over a period of years and followed by top dressing with sand, it is possible to dramatically improve the drainage characteristics and compaction of the root zone and improve its ability to drain properly and resist compaction.

Aeration is generally performed as follows:

1. Walk the field to remove rocks and trash. Flag all irrigation heads and valve box locations to avoid damage.

2. Water the field and let soak for several hours if the moisture level is not adequate to allow penetration.
3. Core-aerate twice, once each opposing angles to maximize the number of holes per square foot.
4. Allow cores pulled to surface to dry out.
5. Light-drag the area to break up cores on the surface, - or rake and remove cores.
6. Follow up immediately with topdressing with sand and/or overseeding.

Core to a depth of 2 ½" to 3" for most turf areas that are under stress from compaction or wear, and 4"-5" penetration for athletic fields with the need to break the compaction zone. Exercise care not to damage shallow buried irrigation or electric lines.

A slicing aerator can be used during the playing season without affecting the field playability.

Aeration on municipal fields is typically performed two to three times per year depending on field use, soil structure, field condition and need to achieve field classification playing conditions. Soccer goal mouths should be aerated a minimum of every 21-30 days.

For aeration activities, we have assumed 0.5 hours of Supervisor time and 3.5 hours of laborer time per field.

3.1.7 Top-Dressing (TD)

Top-dressing adds soil, sand, or other beneficial organic material or soil amendments (as determined by turf needs) to the surface of the turf. Top-dressing is a maintenance method that adds material to the surface of growing turf to fill low areas, decrease compaction, or increase the organic content of the topsoil. Top-dressing can, over a period of years, change the quality of existing in-place topsoil without taking the field off-line for a long period of time. Top-dressing is also necessary for repairing low areas and high wear areas that typically form during regular use of a field. Top-dressing usually follows core aerating operations to fill core voids and is followed by over-seeding to add turf cover. For top-dressing and over-seeding to work properly, fields need to be taken off-line for at least a month during a growing season to let existing turf and over-seeding re-establish. If soil testing indicates the need for additional organic matter in the topsoil, compost, peat, topsoil, or other dry organic material can be used. Typically, coarse sand or a mix of sand and organic matter is used for topdressing to improve topsoil drainage characteristics and relieve compaction.

Top-dressing is normally performed as follows:

1. The Top-dressing material of choice is bulk mixed, loaded, and drop-spread from a hopper conveyor or top dresser. Top-dressing worn areas is typically done by hand in areas such as soccer goalmouths or field centerlines.
2. Review soil sample results as noted above. Observe soil density, thatch thickness, root structure, and soil composition.
3. Evaluate needs of the field and determine appropriate mix to offset problems observed in the sample.
4. Order topdressing mix and have delivered to site.
5. Inspect and fill low or worn areas by hand.

6. Fill the top-dresser, check conveyer and material drop mechanism for desired rate of drop.
7. Distribute evenly over the playing surface following a prescribed pattern.
8. Surface can then be light dragged or raked.

Top-dressing is generally done once per year, however, may be done twice per year and more if a field or soil demand, and the use of the field allows. Soccer goalmouths are top-dressed following core aeration.

For aeration activities, we have assumed 0.5 hours of supervisor time and 3.5 hours of laborer time per field once per year.

3.1.8 Overseeding (OV)

Overseeding is recommended for all well used athletic fields and is typically performed in the spring and fall seasons. Overseeding is the spreading of turfgrass seed over established turf, bare areas, or areas of stressed turf in order to increase the density of actively growing turfgrass and fill-in bare or worn areas on a field. In New England, overseeding is typically done in the spring and fall because warm days and cool nights are ideal for turf establishment and seed growth. Fall is especially effective for overseeding, as weather conditions and moisture conditions are optimum and weed competition is at a minimum. Overseeded fields must have ample down time to allow for the grow-in period and proper seed establishment. Overseeding is most effective when combined with aeration and top-dressing activities to increase soil contact of the seed. Turf managers need to judge whether to dethatch or vertical mow fields prior to overseeding to increase soil contact, as well as select the proper seed for how they are managing the field. Organic fertilizer could be added after overseeding has been conducted to help promote growth.

Overseeding can be done by different methods, which is usually determined by the size of the area to be overseeded and available equipment. A Mechanical tow-behind seeder with a high capacity bulk spreadbox is typically used for large areas. Broadcast spreaders and manual raking can be used for spot applications like sidelines or goals mouths. Overseeding should be done in conjunction with topdressing for filling low areas or when repairs are made around irrigation heads or utility boxes. Preparation for overseeding usually includes some combination of aeration, top-dressing and dethatching, and is generally performed as follows:

1. Grade, level, and crown field by topdressing as needed.
2. Add soil amendments as recommended to reduce compaction and/or increase organic content.
3. Apply fertilizer as recommended.
4. Determine rate of seed application from size of seed and condition of the area to be overseeded. Bare areas require a higher rate than overseeding an established turf stand.
5. Always ensure the seed has contact with the soil after application. Do this by dragging or applying a thin layer of topdressing and a light drag or brooming. Soil contact is critical for germination and sustained growth.

6. Set irrigation operation to maintain satisfactory soil moisture at all times. After germination maintain moisture level, mow at 2 ½" and fertilize every 21-days until plants reach maturity. Do not overwater.

Overseeding using a bulk spreader typically takes one (1) person two (2) hours per field, depending upon equipment used and the size of area being overseeded. We have also included 0.5 hours of supervisor time per field to monitor activities.

3.1.9 Irrigation Operations (IR)

The irrigation activity was established to capture the cost of the time spent in adjusting and monitoring field irrigation systems, as well as the utility costs for irrigation operation. To estimate the costs, we assumed that the irrigation season was from June through August. We have assumed that the only fields that have irrigation include all of Arcanum Field and Florance Recreational Field and the multi-purpose rectangular field at Ray Ellerbrook Field.

For Irrigation monitoring activities, we have assumed 0.5 hours of supervisor time once a week from June to July.

3.1.10 Fall Clean Up, Leaf Removal, and Late Fall Facilities Inspection

The Fall Clean-Up Program should be a deliberate, planned evaluation and repair program that addresses each facility in the City. It should begin as early as the use of the facility allows, and be completed before cold weather threatens the irrigations system, usually by mid to late November.

As noted in the Spring Clean-Up section, there are a number of valuable facility inspection checklists for overall park safety and serviceability that should be implemented for each facility and its associated improvements (seating, scoring, dugouts, concessions, pathways, fencing, etc.). The resultant inspection record and the recommendations should be compiled into a prioritized listing of maintenance and repair requirements, and the resultant work orders be completed during the winter and early spring.

One of the most important fall maintenance requirements is the inspection and winterization of the irrigation system at each field before freezing weather has a chance to cause damage. As discussed above, it is our understanding that the maintenance of the irrigation system is handled by a contractor and as such was not included in this assessment.

The other significant, labor-intensive requirement during the Fall Clean-Up is leaf removal. The removal of leaves from park areas, athletic turf, and planting beds is essential to park aesthetics and the long-term health of turfgrass areas. We have assumed that a combination of leaf blowers and vacuum trucks are used for this purpose. We understand that leaves from some of the parks are hauled to Smith Vocational School, where it is used for making compost.

It is impossible to accurately predict the fall clean up and repair effort required, as it will vary from year to year and from facility to facility depending on things like playing season damage, tree cover, exposure, vandalism, and deferred maintenance. We have made a general assumption that the overall assessment of each field, repairs, and actual cleanup will take eight (8) hours of laborer time and one (1) hour of supervisor time per field.

3.1.11 Lime Application (L)

Lime application will generally be conducted during the last two weeks of November. Lime requires up to six months to break down and have the desired effect on soil pH.

Lime should be applied to soil based on the pH results and recommendations of the soil testing discussed above. Not more than 50 pounds of Lime per 1,000 square feet shall be applied at any time. Lime is typically spread using a granular materials spreader. For large lawn areas, purchasing and applying lime in bulk and having it applied more efficiently with specialty equipment (e.g. by a contractor), can provide a savings by avoiding equipment maintenance and labor costs.

For lime application activities, we have assumed 0.5 hours of supervisor time and two (2) hours of laborer time.

3.1.12. "Off-Season" Maintenance Requirements (E)

Off-season maintenance activities include work which is deferred during the active season, to seasons where less direct maintenance is required. Off-season maintenance includes items which must be accomplished in the off season to properly prepare for the next turf grass growing and playing season. A partial listing of these activities is as follows:

- Annual Services on all maintenance equipment. This generally includes thorough inspection and repair, a change of all fluids, sharpening, calibration, filter replacement, and tuning.
- Annual cleaning, service and repair of athletic equipment and facilities. (e.g. goals, goal posts, dugouts, bases, netting, etc.).
- Inventory of all hand tools and materials, repair and ordering replacements as needed.
- Staff professional development training on such topics as Integrated Turf management requirements, OSHA safety, re-certifications and training, etc.

For off-season maintenance activities, we have assumed ten (10) hours of supervisor training and twenty (20) hours of laborer training for a total of four (4) weeks. Two (2) weeks of training will be provided in the Spring and two (2) weeks of training in the fall.

3.1.13. General Facility Maintenance (GM1/GM2)

In addition to maintaining the athletic spaces we have attempted to capture the additional maintenance that occurs at facilities. This includes some of the smaller mowing activities, line trimming around fences, small weekly repairs, maintenance of playgrounds and hard court areas, maintenance of the beach, and parking lots. We based the time allotted for these activities on the amount of recreational space outside athletic field areas.

For parks that had less than 2.5 acres outside of athletic field space we assumed four (4) hours of labor time and one (1) hour of supervisor time, one per week. (GM1)

For Parks that had greater than 2.5 acres outside of athletic field space we assume eight (8) hours labor time and 1 hour of supervisor time per week. (GM2)

3.1.14. Tree Canopy (T)

The City DPW department also manages the tree canopy within the parks. These activities can range from removal of a dead tree to trimming ornamental trees and shrubs around the parks. Typically, these activities are not required to be completed on a weekly basis, and so we assumed that they would be completed once a month. A supervisor should be sure the tree trimming activities be observed by an arborist when necessary to ensure tree health, and should attempt to plan any extensive tree trimming in the Spring before the tree begins to blossom to maintain a healthy tree. This activity may also include picking up fallen branches and limbs that may occur outside of the playing surface area.

For the purposes of this evaluation, we have assumed a total of four (4) hours of laborer time and one hour of supervisor time per month per facility.

3.2 Maintenance Schedule and Recommended Staffing

Based on the maintenance activities described above, including the personnel hours described for each task, we are able to create an approximation of the staffing demand for Parks and Recreation on a monthly basis for the City. It is our understanding the city currently flexes staff between different activities, and during the summer months has been able to allocate between three to four laborers and one supervisor that are mostly dedicated to maintenance of the Recreation Parks and Fields. Previous staffing levels have been as high as six or seven laborers allocated toward athletic field maintenance.

It is important to note that during the analysis we have not assumed that one (1) laborer equates to 40 hours work per week. After speaking with the DPW, when you factor in things like other maintenance responsibilities in the City, vacation and/or PTO time and holidays, a realistic representation of allocation of time for a single worker towards Park and Recreation maintenance activities over the summer months is approximately 30 hours. Using the hours compiled in the field maintenance schedule and dividing by 30 hours per employee, we can estimate the required number of supervisors and laborers required per week.

The maintenance activity schedule, along with a weekly breakdown of estimated staffing requirements, is provided in Appendix F. Table 11 provided below summarizes the findings of Appendix F.

Table 11
Recommended Staffing Numbers by Month

Month	Avg. Number of Supervisors Required per week	Avg. Number of Laborers Required per week	Total number of Staff required
January	0	0	0
February	0	0	0
March	1	1.3	2.3
April	1.0	7.0	8.0
May	1.3	7.3	8.6
June	2.0	9.0	11.0
July	2.0	7.6	9.6
August	2.0	8.0	10.0
September	1.8	8.5	10.3
October	1.0	5.4	6.4
November	1.0	3.4	4.4
December	0	0	0

As it can be seen from Table 11 above, if the City currently has four to five total staff (Supervisor and Laborers) available to maintain Parks and Recreation facilities, they would not be able to carry out maintenance activities as recommended above in the months between April and October, which are the most crucial months to Park and Recreation Facility users. Typically, communities are addressing deficiencies in labor staff for maintenance activities in a two-prong approach. Where appropriate, they are bringing on fulltime staff as long as they can keep them busy elsewhere in the community in the slow months of November – March. To provide an additional maintenance workforce during the high demand months of April thru October, they are also hiring temporary staff and/or seeking additional help from contractors to alleviate the load on City Staff.

4 Conclusions & Recommendations

The City of Northampton Department of Public Works engaged Tighe & Bond to help provide an assessment of the Northampton Parks and Recreation maintenance strategy to identify actions that could be taken to provide a higher level of service at these facilities for stakeholders. Tighe & Bond assessed the possible deficiencies in the maintenance strategy by reviewing the current condition and inventory of athletic facilities, reviewing athletic demand to assess if the community requires additional field space, and comparing staff demands based on recommended levels of maintenance activities.

From review of City's Recreation Park and Facility conditions, a number of facilities provided have aging equipment and or amenities and could benefit from rehabilitation and reconstruction. A number of these facilities were constructed over 40 years ago, and when Tighe & Bond staff reviewed the conditions, it was found that the facilities are generally in fair condition with some facilities rating in poor condition. It was noted during this exercise that the 90' Baseball diamond at Arcanum Field does not meet dimensional requirements, Veteran's Field has been closed due to dimensional issues since the installation of the skate park, and Maine's Field was closed in 2023 due to frequent flooding issues.

The next step was to review the Park and Recreation athletic field demand to determine if there was an excess number of uses at the facility, which could make it impossible for the DPW staff to keep up with maintenance of the fields. Generally, what was determined was that the quantity of fields and allocation by type were appropriate for the current scheduled and informal uses by the community.

The final step in evaluating Parks and Recreation maintenance was to determine if the current staffing availability was sufficient enough to cover the recommended maintenance activities to allow fields to support the current athletic field demand, as well as general facility maintenance. During this analysis it was determined that during the high demand months between April and October, the City is short on staff to help maintain the athletic fields to the quality that the DPW staff and athletic users desire.

As a result, of this report we would recommend the next steps for the City to discuss include the following:

- Evaluate the ability for the City to expand staff to help maintain athletic facilities
- Start to develop a masterplan to begin renovating existing facilities by prioritizing facilities that would provide the greatest impact for users and are not within existing 100 year flood plain.
- Evaluate facilities that have space constraints and determine if these constraints can be fixed, or if they can be converted into a different type of field to provide more flexibility when fields need to be shut down for maintenance.
- Add irrigation and underdrainage to fields that don't already have it to improve the quality of maintenance that can be provided.

Tighe&Bond

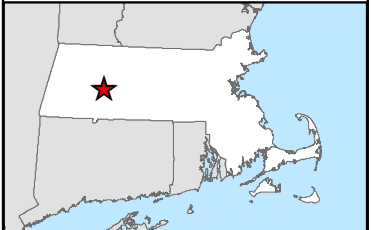
APPENDIX A

FIGURE 1
City of Northampton
Recreational Facility
Inventory

LEGEND

- City Owned Facility
- School Owned Facility
- Northampton DPW
- Parcel Boundary
- Neighboring Town
- Town Boundary

LOCUS MAP



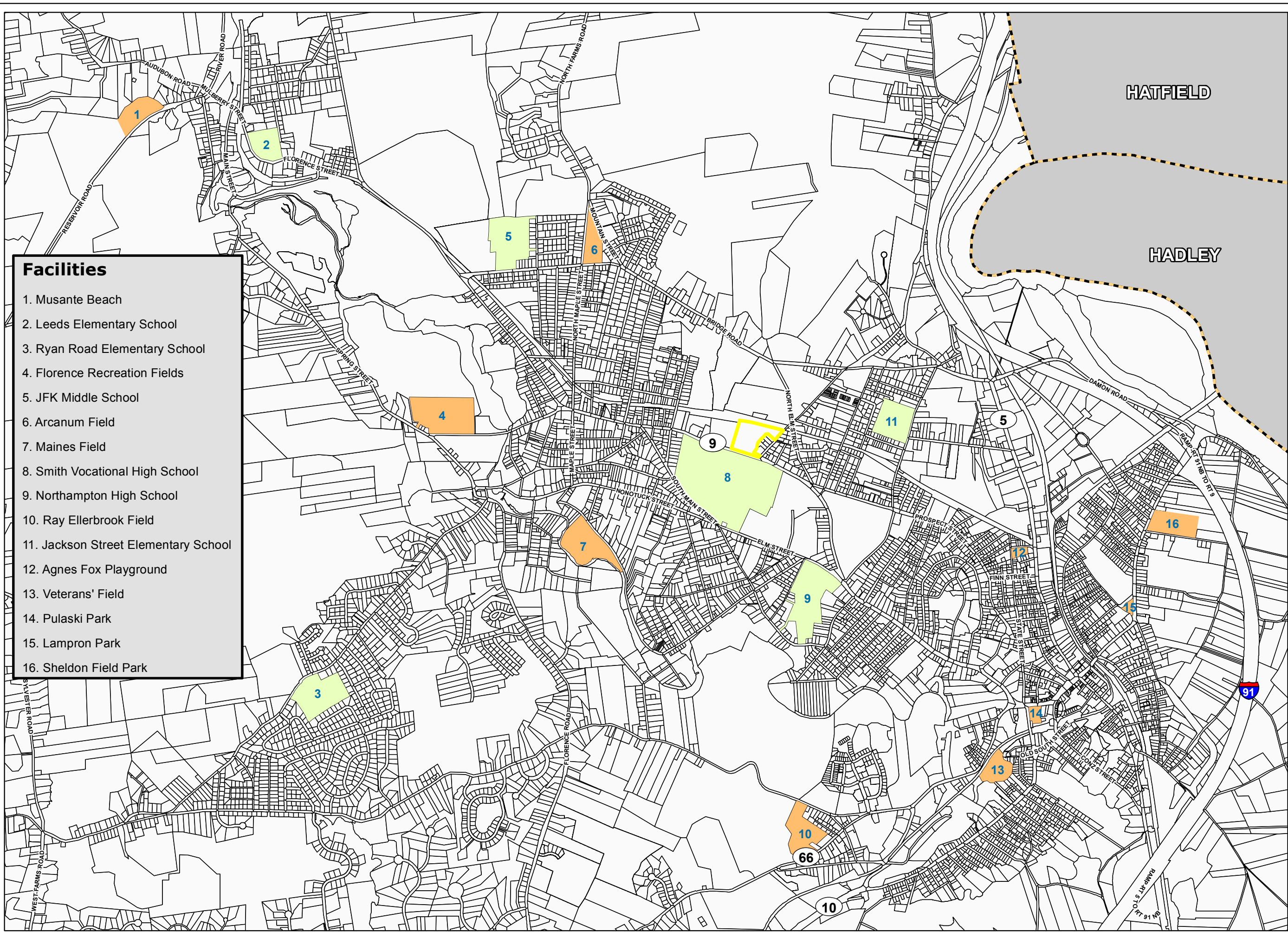
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NOTES

1. Parcel Boundary (FY 2023) downloaded from MassGIS and is approximate.

City-Wide Map
Northampton, Massachusetts

March 2024



- Facilities**
1. Musante Beach
 2. Leeds Elementary School
 3. Ryan Road Elementary School
 4. Florence Recreation Fields
 5. JFK Middle School
 6. Arcanum Field
 7. Maines Field
 8. Smith Vocational High School
 9. Northampton High School
 10. Ray Ellerbrook Field
 11. Jackson Street Elementary School
 12. Agnes Fox Playground
 13. Veterans' Field
 14. Pulaski Park
 15. Lampron Park
 16. Sheldon Field Park


Tighe&Bond

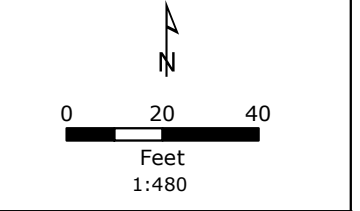
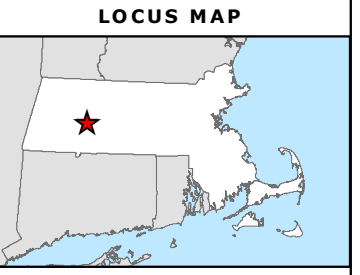
APPENDIX B



Total Property Area:	1.61 Acres
General Maintenance Area:	0.98 Acres

Figure 1
City of Northampton
Recreational Facility
Inventory

LEGEND
 Parcel Boundary



NOTES

1. Based on Nearmap Imagery (2023).
2. Parcel Boundary (FY 2023) downloaded from MassGIS and is approximate.

Agnes Fox Playground
253 State Street
Northampton, Massachusetts

March 2024

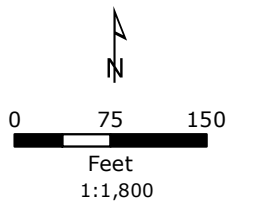
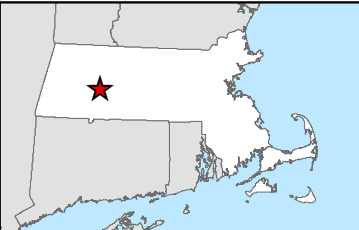


Figure 2
City of Northampton
Recreational Facility
Inventory

LEGEND

 Parcel Boundary

LOCUS MAP



NOTES

1. Based on Nearmap Imagery (2023).
2. Parcel Boundary (FY 2023) downloaded from MassGIS and is approximate.

Arcanum Field
220 Bridge Road
Northampton, Massachusetts

March 2024

Tighe & Bond



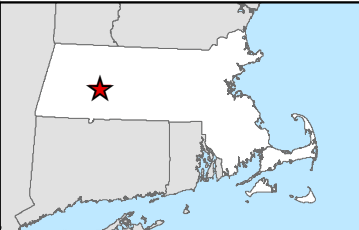
Total Property Area:	8.58 Acres
General Maintenance Area:	2.44 Acres

Figure 3
City of Northampton
Recreational Facility
Inventory

LEGEND

 Parcel Boundary

LOCUS MAP



0 50 100
 Feet
 1:1,200

NOTES

1. Based on Nearmap Imagery (2023).
2. Parcel Boundary (FY 2023) downloaded from MassGIS and is approximate.

Florence Recreation Fields
157 Spring Street
Northampton, Massachusetts

March 2024



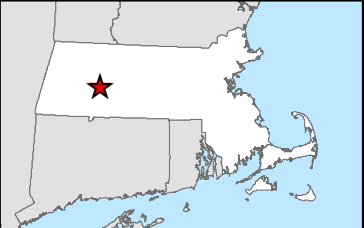
Total Property Area:	24.36 Acres
General Maintenance Area:	4.35 Acres

**Figure 4
City of Northampton
Recreational Facility
Inventory**

LEGEND

Parcel Boundary

LOCUS MAP



0 20 40
Feet
1:480

NOTES

1. Based on Nearmap Imagery (2023).
2. Parcel Boundary (FY 2023) downloaded from MassGIS and is approximate.

**Lampron Park
110 Bridge Street
Northampton, Massachusetts**

March 2024

Tighe & Bond



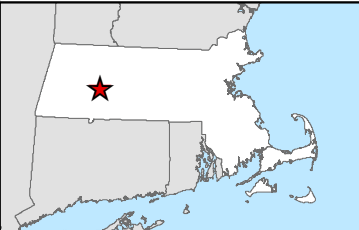
Total Property Area:	1.18 Acres
General Maintenance Area:	1.18 Acres

**Figure 5
City of Northampton
Recreational Facility
Inventory**

LEGEND

 Parcel Boundary

LOCUS MAP



0 50 100
Feet
1:1,200

NOTES

1. Based on Nearmap Imagery (2023).
2. Parcel Boundary (FY 2023) downloaded from MassGIS and is approximate.

**Maines Field
570 Riverside Drive
Northampton, Massachusetts**

March 2024


Tighe & Bond



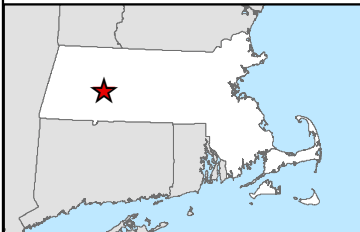
Total Property Area:	17.51 Acres
General Maintenance Area:	3.82 Acres

Figure 6
City of Northampton
Recreational Facility
Inventory

LEGEND

 Parcel Boundary

LOCUS MAP



0 75 150
 Feet
 1:1,800

NOTES

1. Based on Nearmap Imagery (2023).
2. Parcel Boundary (FY 2023) downloaded from MassGIS and is approximate.

Ray EllerBrook Field
50 Burts Pitt Road
Northampton, Massachusetts


March 2024



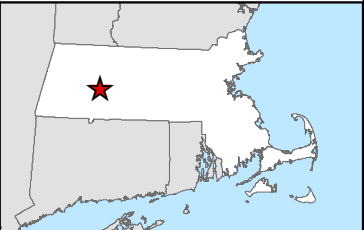
Total Property Area:	14.37 Acres
General Maintenance Area:	4.35 Acres

**Figure 7
City of Northampton
Recreational Facility
Inventory**

LEGEND

 Parcel Boundary

LOCUS MAP



0 40 80
Feet
1:960

NOTES

1. Based on Nearmap Imagery (2023).
2. Parcel Boundary (FY 2023) downloaded from MassGIS and is approximate.

**Sheldon Field Park
26 Old Ferry Road
Northampton, Massachusetts**

March 2024

Tighe & Bond



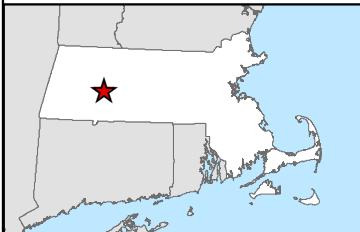
Total Property Area:	11.66 Acres
General Maintenance Area:	7.24 Acres

**Figure 8
City of Northampton
Recreational Facility
Inventory**

LEGEND

 Parcel Boundary

LOCUS MAP



0 40 80
Feet
1:960

NOTES

1. Based on Nearmap Imagery (2023).
2. Parcel Boundary (FY 2023) downloaded from MassGIS and is approximate.

**Veterans' Field
88 West Street
Northampton, Massachusetts**

March 2024



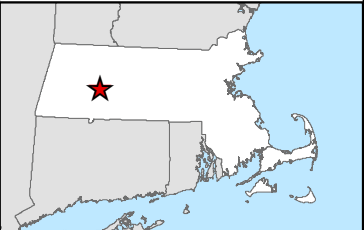
Total Property Area:	7.76 Acres
General Maintenance Area:	3.59 Acres

**Figure 9
City of Northampton
Recreational Facility
Inventory**

LEGEND

 Parcel Boundary

LOCUS MAP



0 20 40
Feet
1:480

NOTES

1. Based on Nearmap Imagery (2023).
2. Parcel Boundary (FY 2023) downloaded from MassGIS and is approximate.

**Pulaski Park
240 Main Street
Northampton, Massachusetts**

March 2024


Tighe & Bond



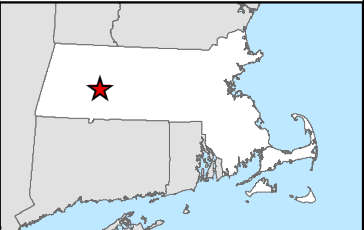
Total Property Area:	2.13 Acres
General Maintenance Area:	0.53 Acres

Figure 10
City of Northampton
Recreational Facility
Inventory

LEGEND

 Parcel Boundary

LOCUS MAP



0 50 100
 Feet
 1:1,200

NOTES

1. Based on Nearmap Imagery (2023).
2. Parcel Boundary (FY 2023) downloaded from MassGIS and is approximate.

Musante Beach
85 Reservoir Road
Northampton, Massachusetts

March 2024



Total Property Area:	9.98 Acres
General Maintenance Area:	0.7 Acres

Tighe&Bond

APPENDIX C

Appendix C – Facility Assessment Summary

1.1 Agnes Fox Playground

Agnes Fox Playground, located at 253 State Street, is in the northeast section of the City of Northampton. The facility does not have a formal parking lot, but street parking is allowed along State Street. The parking is surrounded by a sidewalk that is uneven and cracked. Additionally, the sidewalk is not ADA accessible at the corners of State Street and Church Street, as there are no curb cuts or tactile warning strips. The facility has one catch basin outside of the double swing gate near the Church Street entrance and no ponding water was observed on-site. At this facility, the existing conditions of a hard court, playground, and multi-purpose rectangular field were evaluated by Tighe & Bond staff.

1.1.1 Basketball Court

The hard court, denoted as "Space 1" on the Agnes Fox Playground Figure (Appendix B), was given a rating of 2.1. During a site visit, the following was observed:

- Court's asphalt surface is in poor condition, with cracks and vegetative growth. The uneven level of the asphalt surface raises concern for potential safety issues.
- Backboards, hoops, and nets show signs of extended wear. Portions of the support poles and joints are rusted and are not level.

1.1.2 Playground

The playground is on the eastern edge of the facility and is denoted as "Space 2" in the Agnes Fox Playground Figure (Appendix B). During a site visit, the following was observed:

- The exposed foundation of the tot swing is in poor condition and raises concern for a potential hazard.
- Site has poor drainage, as the wood fiber surface is wet.

It is recommended that drainage infrastructure is upgraded on site, as wet surfaces lessen the optimal life of wood fiber, creating an uneven surface from rotting.

1.1.3 Multi-Purpose Rectangular Field

A field is located in the center of the facility in between the hard court and playground and is denoted as "Space 3" on the Agnes Fox Playground Figure (Appendix B).

- This space is only used for informal uses and was not recognized during our assessment as multi-purpose rectangular field and therefore a score was not provided. Generally the field area appeared to be in fair condition

1.2 Arcanum Field

Arcanum Field, located at 220 Bridge Road, is in the northeast section of the City of Northampton. The facility contains two parking lots that are in good condition and have a total of three designated ADA parking spaces. The parking lot south of the hard court contains a total of 65 parking spaces with 2 van-accessible ADA parking spaces. This does not meet ADA requirements, as 3 accessible parking spaces are required. The parking lot north of the 90-foot baseball diamond contains 18 parking spaces with 1 van-accessible

ADA space, meeting ADA parking requirements. Along the edge of the parking lot there is a crushed stone pathway, but it does not lead to the individuals athletic use spaces.

The facility has adequate drainage and irrigation, with catch basins being provided in the parking lots. The catch basins are in fair condition, with some cracks that have been sealed and minor sediment settling in the bottom. No lighting is provided on-site.

At this facility, the existing conditions of the 90-foot baseball diamond, a 60-foot baseball/softball diamond, a hard court, a concession building with restrooms, and a playground were evaluated by Tighe & Bond staff.

1.2.1 90 Foot Baseball Diamond

The 90-foot baseball diamond, denoted as "space 1" on the Arcanum Field Figure (Appendix B), was given a rating of 2.43. During a site visit the following was observed:

- First base and right field dimensions do not meet typical industry standards for 90-foot baseball diamonds.
- The turf in the outfield and infield skin are in poor condition. The turf has thin cover, and the infield skin has vegetation growth. The infield turf is in good condition.
- Minor areas of ponding were observed, indicating that adequate slopes are not being provided.
- Pitcher's mound and rubber is in poor condition with vegetive growth and holes. Backstop is in fair condition, but the plastic cover is not secure.
- Field is surrounded by chain-link fence along the backstop, seating areas, and dugout along first and third base. The chain-link fence is bent in some areas, including the dugouts, and has trees and brush growing under and through it.

1.2.2 60 Foot Baseball Diamond

The 60-foot baseball diamond, denoted as "space 2" (Appendix B), was given a rating of 2.57. During a site visit the following was observed:

- First base and right field dimensions do not meet typical industry standards for 60-foot baseball diamonds.
- Spectator seating, consisting of wooden bleacher, are in fair condition with some paint decay. Bleachers do not contain fall protection at the top.

1.2.3 Basketball Court

The hard court was given a rating of 2.86. The court is denoted as "Space 3" in the Arcanum Field Figure (Appendix B). During a site visit the following was observed:

- Asphalt pavement is in fair condition, with some larger cracks greater than 1 inch and vegetative growth.
- The support posts of the backboard are in fair condition and rusted.

1.2.4 Concession Building with Restrooms

The concession building with restrooms is denoted as "Space 4" on the Arcanum Field Figure (Appendix B). During a site visit the following was observed:

- The wooden stairs outside of the building are in poor condition, showing signs of wear. The stairs do not have a handrail, which does not comply with building code regulations.

- The interior walls of the building are in poor condition. There are areas of wallboard that are missing, leaving the framing of the building exposed. The interior painting is in poor condition and peeling.
- The door saddles at the entrance to the building, concession opening heights and cabinetry do not meet 521 CMR standards or ADA 2010 Accessibility standards.

1.2.5 Playground

The playground is located directly east of the parking lot and is denoted as "Space 5" on the Arcanum Field Figure (Appendix B). During a site visit the following was observed:

- Playground equipment is in good condition, but one standard swing is missing.

1.2.6 Safety Village

The safety village is denoted as "Space 6" on the Arcanum Field Figure (Appendix B). As the safety village has been recently construction by the City of Northampton, an interior evaluation was not performed. However, the wooden fence surrounding the Safety Village and the pavement marking are in excellent condition.

1.3 Florence Recreation Fields

Florence Recreation Fields, located at 145 Meadow Street, is in the northwest area of the City of Northampton and is approximately 600 feet East of the Mill River. The eastern portion and western portion of the facility is within FEMA flood zones. Additionally, the facility contains a low spot in the center of the facility, just North of Space 2. During the site visit, Tighe & Bond was informed by a park visitor that that Mill River floods the fields during heavy summer storms.

The facility contains two parking lots. The asphalt parking lot in Spring Street is in good condition and contains 2-van accessible ADA parking spots. As there are 68 parking spaces in the lot, a minimum of 3 ADA parking spots (at least 2 standard and one van accessible) should be provided. The parking at Meadow Steet is in fair condition, with broken and exposed pervious pavers. Portions of the broken pervious pavers from this lot were observed in the athletic fields. The facility has an ADA accessible pathway, with ramps, from the parking lot on Spring Street to the building with kitchens and restrooms, and the playground.

At this facility, the existing conditions of the 90-foot baseball diamond, a 60-foot baseball diamond, five multi-purpose rectangular fields, a building with a kitchen and restroom, and a playground were evaluated by Tighe & Bond staff.

1.3.1 90 Foot Baseball Diamond

The 90-foot baseball diamond, denoted as "space 1" on the Florence Recreation Fields Figure (Appendix B), was given a rating of 2.58. During a site visit, the following was observed:

- Spectator seating consists of one four-riser metal bleacher in good condition but does not contain fall protection at the top.

1.3.2 60 Foot Baseball Diamond

The 60-foot baseball diamond, denoted as "Space 2" in the Florence Recreation Facility Figure (Appendix B), was given a rating of 2.58. The following was observed a site visit:

- Netting along the backstop needs to be re-secured around its cables.
- Infield skin is in poor condition, with substantial vegetative growth.

- Rubber of the pitcher's mound is not secure in the ground and exposed. Exposure may cause increased wear over a shorter period of time.

1.3.3 Multi-Purpose Rectangular Field 1

Multi-Purpose Rectangular Field 1, denoted as "Space 3" on the Florence Recreation Fields Figure, was given a rating of 2.71. The following was observed during a site visit on December 1st, 2023:

- Turf is in fair condition with thin cover and ruts/divots. It is evident that the field is heavily used during the playing season.

1.3.4 Multi-Purpose Rectangular Field 2

Multi-Purpose Rectangular Field 2, denoted as "Space 4" on the Florence Recreation Fields Figure, was given a rating of 2.71. During a site visit on December 1, 2023, the following was observed:

- Turf is in fair condition, with signs of wear and thin cover near the goal and penalty area.

1.3.5 Multi-Purpose Rectangular Field 3

Multi-Purpose Rectangular Field 3, denoted as "Space 5" on the Florence Recreation Fields Figure, was given a rating of 2.43. During a site visit on December 1, 2023, the following was observed:

- Field length meets requirements for age 10 youth soccer, but field width is 3 feet short. This may have just been a striping error during maintenance activities
- Turf is in fair condition, with thin cover near the center field and divots in front of the goals and penalty lines.

1.3.6 Multi-Purpose Rectangular Fields 4 and 5

Multi-Purpose Rectangular Fields 4 and 5, denoted as "Spaces 6 and 7", on the Florence Recreation Fields Figure were given a rating of 2.67. The fields did not appear to be in use at the time of the site-visit, with no visible goal locations or striping. However, the fields are in good condition, with dense grass cover and no divots.

1.3.7 Building with Kitchen and Restrooms

The building with kitchens and restrooms is located directly north of the main parking lot, and is denoted as "Space 8" on the Florence Recreation Field Figure (Appendix B). During a site visit on December 27, 2023, the following was observed:

- Between the two (2) buildings four (4) sinks are provided and one (1) drinking water fountain. The drinking water fountain is in poor condition, with exposed wires below the fountain.
- Buildings meet compliance with 521 CMR standards and 2010 ADA Accessibility standards.

1.3.8 Playground

The playground is denoted as "space 9" on the Florence Recreation Field Figure (Appendix B). The following was observed during a site visit:

- Adequate fall zones are provided for each play area.

1.4 Lampron Park

Lampron Park, located at 110 Bridge Street, is in the southwest portion of the City of Northampton. There is no on-site parking for the site, but the park is accessible from pedestrian crosswalks on the north, east, and west sides of the facility. The facility contains three walkways with site-lighting spaces throughout them.

At this facility, Tighe & Bond staff evaluated the existing conditions of the playground.

1.4.1 Playground

The playground is located directly north of Bridge Street School. During a site visit the following was observed:

- Playground consists of two main play areas. One play area contains a swing-set with two tot-swings and 6 regular swings. The other play area contains one modern rocker/group teeter totter.
- Swing set is in good condition with an adequate fall zone.
- Modern rocker/group teeter totter is in good condition with an adequate fall zone.

1.5 Maines Field

Maines Field, located at 507 Riverside Drive, is in the center of the City of Northampton and approximately 100 feet east of the Mill River. The facility is located within a FEMA flood zone.

The facility contains one paved parking lot and one gravel lot with no striping. The gravel parking lot contains potholes along the access driveway necessary to enter the lot. The parking lots do not provide ADA accessible spots. The facility additionally does not have accessible paths and uneven walking surfaces, making the overall ADA rating of the site poor. Additionally, the edge of the eastern volleyball court is approximately 14 feet from the edge of the access driveway, raising safety concerns.

The facility has poor drainage and irrigation structure, with swales that are clogged by debris and signs of run off from the road into the facility. The gravel access driveway, going west towards the pavilion (space 2) contained small areas of ponding water and one large area of ponding water. The paved parking lot also contains two catch basins. The rim and grate of the catch basins are in good condition, however; the pavement around the catch basins is cracked.

At this facility, the existing conditions of a 60-foot softball diamond, restroom, storage shed, and playground, were evaluated by Tighe & Bond staff.

1.5.1 60 Foot Softball Diamond

The 60-foot softball diamond, denoted as "Space 1" on the Maines Field Figure, was given a rating of 1.86. During a site visit on December 1, 2023, the following was observed:

- Field dimensions meet typical standards for softball fields.
- Turf and infield skin are in poor condition. The turf cover is thin and uneven. The infield skin contains heavy vegetative growth along the first base line.
- The posts in the chain-link fence are shifted and the chain-link is bent, especially along the backstop area.

- Dugout area consists of players benches, in poor condition, surrounded by chain-link fencing. The chain-link is bent and there is weed growth under the players' benches. The players' benches are angled inward.
- Adequate slopes are not provided on the field. Heavy erosion is visible in the dugout areas and there were areas of ponding water on the field.
- Field contains a catch basin at the entry from third base, which raises the potential to become a tripping hazard for players.
- Field equipment, including bases, home plate, pitchers' mound and rubber, and flagpole are in poor condition. Wooden spectator seating is also in poor condition, with heavy paint decay.

1.5.2 Restroom and Electric Closet

The building located northwest of the 60-foot softball diamond contains an electrical closet and two single-stall restrooms. This building is denoted as "Space 6" on the Maines Field Facility Figure (Appendix B). The following was observed during a site visit:

- The shingles on the roof are deteriorating.
- Electrical supply closet was flooded at the time of the visit. The entire structure has flooded twice in 2023.
- The floor of the building is reinforced concrete that is painted. The floor shows signs of deterioration and contains numerous cracks.
- The hollow metal doors to the electrical closet and single restrooms are beginning to rust along the frames.
- Restrooms do not meet 521 CMR and 2010 ADA accessibility standards.

1.5.3 Playground

The playground is located south of the parking lot and is denoted as "space 3" on the Maines Field Facility Figure (Appendix B). This playground was missed during our assessments of inventory of City playgrounds and there for was not evaluated.

1.5.4 Pavilion

The pavilion is denoted as "space 2" on the Maines Field Facility Figure (Appendix B). The pavilion has flooded twice since 2023. The following was observed during a site visit:

- The metal roof is in fair condition, with areas of bowing.
- The structural frame of the building is not braced and is in poor condition. The wood material is weathered and bowing.
- The interior columns supporting the structure are in fair condition but are weathered.
- The foundation is made of reinforced concrete in fair condition. The foundation contains a large crack through the center of the building.
- Due to poor site drainage, the structure is weathered.
- The structure does not meet 251 CMR standards or 2010 ADA standards, as the facility does not contain an accessible path to access the structure.

1.5.5 Storage Shed

A storage shed is located near the entrance of the facility and is denoted as "space 7" on the Maines Field Facility Figure. The shed has flooded twice since 2023. The following was observed during a site visit:

- The wooden exterior walls are in poor condition and are deteriorating.
- Wooden floor is in poor condition from flooding.
- Structure is above grade and steps do not contain a handrail. As a result, the structure does not meet 521 CMR and 2010 ADA standards.

1.6 Ray EllerBrook Fields

Ray EllerBrook Fields, located at 48 Burt Pit Road, is in the western area of the City of Northampton. The facility contains a gravel parking lot that is accessible from an access driveway on Burt Pits Road. The lot is in fair condition, with several potholes and vegetive growth on the eastern side. The parking lot does not have stripped parking spots or ADA spots. The parking lot is surrounded by a wooden fence that is in fair condition. The facility additionally does not have accessible paths, making the overall ADA rating of the site poor.

The facility has good drainage and irrigation structure, with one catch basin in the driveway to the parking lot and no signs of flood or ponding water.

At this facility, the existing conditions of a 60-foot baseball diamond, restroom, and playground, were evaluated by Tighe & Bond staff.

1.6.1 60 Foot Baseball Diamond

The 60 foot baseball diamond was given a rating of 2.14. In Appendix B, the field is denoted as "space 1" on the Ray EllerBrook Field Facility Figure. During a site visit the following was observed:

- The turf is in poor condition, with thin cover and uneven cover.
- The infield skin was in poor conditions with poorly managed and undefine lips
- In adequate foul ball protection was provided for team bench areas

1.6.2 Multi-Purpose Rectangular Field

Multi-purpose rectangular field 1 was given a rating of 2.29. In Appendix B, the field is denoted as "space 2" on the Ray EllerBrook Field Facility Figure. During a site visit on December 1, 2023, the following was observed:

- Separately, the two small fields do not meet average dimensions for soccer playing fields. Overall, the entire field meets dimensional requirements up to age 14 youth soccer.
- The turf is in fair condition, with thin cover and some signs of ruts.

1.7 Sheldon Field Park

Sheldon Field Park, located at 26 Old Ferry Road, is in the western area of the City of Northampton. The majority of the facility is located within an AE Q3 FEMA flood zone and a portion of the western corner of the facility is located within the X500 Q3 FEMA flood zone.

The facility contains two paved parking lots that are in good condition. In the parking area south of the 60 foot-baseball diamond (Space 2), there are four ADA parking spaces and an

ADA ramp from the bus stop at Bridge Street into the park. In the parking lot east of the hard court (space 5), there is 1 van-accessible ADA spot. The facility does not contain any pathways to access the athletic fields.

The facility has good drainage and irrigation structure, with one catch basin on the northern section of the parking area with a grass-lined swale leading towards it.

At this facility, the existing conditions of a 60-foot softball diamond, a hard court, and playground, were evaluated by Tighe & Bond staff.

1.7.1 60-Foot Softball Diamond 1

The 60-foot softball diamond was given a rating of 2.43. In Appendix B, the field is denoted as "space 1" on the Sheldon Field Park Facility Figure. During a site visit on December 4, 2023, the following was observed:

- The turf is in good condition but contains some weeds and uneven vegetation in the left field.
- Adequate slopes are not being provided, as the infield contains large areas of ponding water.
- Field contains chain-link fencing in front of the backstop area and along the third base side. The players benches are enclosed by chain-link fence, where portions of the chain link fence are not perpendicular to the ground.
- The backstop is in poor condition, with portions of the baseboard beginning to rot. In addition, the fence of the backstop is not perpendicular to the ground and is missing caps.

1.7.2 60 Foot Baseball Diamond 2

The 60-foot baseball diamond was given a rating of 2.29. In Appendix B, the field is denoted as "space 2" on the Sheldon Field Park Facility Figure. During a site visit on December 4, 2023, the following was observed:

- These dimensions of the field do not meet requirements for youth baseball but are close enough for most uses.
- The turf is in fair condition with dense cover but contains weeds. Areas of the outfield contain ruts, but they are not large enough to pose a hazard for players. Infield skin is in poor condition, with heavy vegetation growth.
- Field is surrounded by fencing on the first base and third base sides. All fencing is in poor condition, containing numerous sections where the posts are bent or broken. In addition, there are missing and broken caps along the chain-link fence.
- The home plate and bases are removable and were not present at the time of the site visit. The sleeves under the bases are cracked.
- The pitcher's mound is in fair condition but may require reshaping.
- The backstop is in poor condition, containing bent portions of chain-link fence. As a result, the fence is pulling away from the posts.

1.7.3 60 Foot Softball Diamond 3

The 60-foot softball diamond was given a rating of 2.86. In Appendix B, the field is denoted as "space 3" on the Sheldon Field Park Facility Figure. During a site visit on December 4, 2023, the following was observed:

- Turf is in fair condition, with some weeds and uneven vegetation. Infield is in fair condition, with clumps of vegetation growth.
- The infield has fair slopes, with some areas on ponding water.
- Wooden spectator bleachers are showing signs of rot.
- Backstop is in poor condition, with portions of the fence not perpendicular to the ground and sections of bent chain-link fencing. As a result of the bending in the fence, the chain-link is unconnected to the wooden posts.

1.7.4 60-Foot Softball Diamond 4

The 60-foot softball diamond was given a rating of 2. In Appendix B, the field is denoted as "space 4" on the Sheldon Field Park Facility Figure.

- Left field and right field dimensions do not meet recommended geometry for softball fields.
- The turf is in fair condition with thin coverage. There is excessive vegetation growth in the infield skin, pitcher's mound, bases, and home plate.
- The fair contains a spectator bleacher and player benches. The spectator bleacher is wooden with five risers on the first base side and is in fair condition. The wood on the bleacher is beginning to chip and the paint has faded. The paint on all the players benches has begun to fade, and the seating portion of players bench near first base is not flat.
- Backstop is in poor condition, with portions of the fence not perpendicular to the ground and sections of bent chain-link fencing. As a result of the bending in the fence, the cross bars are disconnected from the post. The fencing is supported by concrete posts that are exposed and beginning to erode.
- Dugout consists of metal players benches surrounded by chain-link fence. Chain-link fence is bent.

1.7.5 Basketball Court

The hard court was given a rating of 2.86. In Appendix B, the court is denoted as "space 5" on the Sheldon Field Park Facility Figure. During a site visit on December 4, 2023, the following was observed:

- The overall condition of the court surface is fair, with long cracks along the asphalt. The larger cracks are approximately 1" in width. Large cracks and dips within the asphalt pavement have resulted in ponding water.
- The backboard is in fair condition, with some discoloration for extended use.
- Overall, the court is sloped adequately to the northeast corner of the court, but there are some minor areas of ponding water.

1.7.6 Playground

The playground is located west of the parking lot and is denoted as "space 7" on the Sheldon Field Park Facility Figure (Appendix B). The following was observed during a site visit:

- Equipment does not contain fall protection and exposed metal fasteners pose a safety hazard.

- Metal slide is aligned to face the direction of the sun during the day, posing a hazard in the summer if the surface heats up.

1.7.7 Multi-Purpose Rectangular Field 1

Multi-purpose rectangular field 1 was given a rating of 2.17. In Appendix B, the field is denoted as "space 8" on the Sheldon Field Park Facility Figure. During a site visit on December 4, 2023, the following was observed:

- The individual fields and entire field do not meet dimensions recommendations for soccer, lacrosse, and football.
- The turf is in poor condition, with thin cover and large concentrated areas of vegetation. Clumps of vegetation are making the playing surface uneven.

1.7.8 Multi-Purpose Rectangular Field 2

Multi-purpose rectangular field 2 was given a rating of 2.67. The field is in the center of the facility, In Appendix B, the field is denoted as "space 9" on the Sheldon Field Park Facility Figure. During a site visit on December 4, 2023, the following was observed:

- The dimensions of the individual fields do not meet recommended field geometry for soccer, lacrosse, and football. In total, the width of the field meets dimensional recommendations for age 10 youth soccer.

1.8 Veterans' Field

Veterans' Field, located at 88 West Street, is in the southeastern portion of the City of Northampton. The facility contains one gravel parking lot that is in poor condition. The parking lot contains numerous potholes, with large amounts of pond water. Additionally, the parking lot does not contain striped spaces or ADA spots. The facility is accessible from the parking lot by a paved walkway that leads to a playground and skate park.

The facility contains two catch basins, with one located near the driveway entrance and one in the grass near the skate park. The catch basin frame and grate are in good condition. However, drainage on site is poor because of large potholes in the parking lot.

At this facility, the existing conditions of a playground, skate park, hard court, and 90-foot baseball diamond were evaluated by Tighe & Bond staff.

1.8.1 Playground

The playground is located southeast of the gravel parking lot, and is denoted as "space 1" in the Veterans' Field Facility Figure (Appendix B). The following was observed during a site visit:

- Structure has vandalism on the side of the slide.
- Modern play structures appears to have adequate fall zone protection

1.8.2 Skate Park

The skate park is located southeast of the playground and is denoted as "space 2" in the Veterans' Field Facility Figure (Appendix B). The skatepark is in good condition.

1.8.3 Basketball Court

The hard court, denoted as "space 3" in the Veterans' Field Facility Figure (Appendix B), was given a rating of 1.57. During a site visit on December 4, 2023, the following was observed:

- Court surfaces are constructed out of asphalt in poor condition. It appears that that the asphalt was sawcut and repaired in long sections that are not even with the existing surface.
- Inadequate run out distance provided between area of play and posts for backboard which can cause safety concerns

1.8.4 90 Foot Baseball Diamond

The 90-foot baseball diamond, denoted as "space 4" on the Veterans' Field Facility Figure, was given a rating of 1.43. During a site visit on December 4, 2023, the following was observed:

- Left and right field dimensions do not meet recommended geometry for high school baseball.
- Turf is in fair condition. The outfield contains dense cover and level surface, but the infield contains areas of thin cover.
- There is excessive vegetation growth in the infield skin, pitcher's mound, bases, and home plate.
- Adequate slopes are not being provided, as the field slopes towards home plate which contained standing water. Right field and third base line also contained ponding water.
- Player's benches are in fair condition with some algae growth.
- After our site visit we were informed that this 90' diamond is no longer in use by the community for formal scheduled uses

1.9 Pulaski Park

Pulaski Park, located at 240 Main Street, is in the southeast section of the City of Northampton. The facility contains a playground, paved walkways, a garden area with planters, and benches. The park is accessible from the entrances at New South Street, Massachusetts Route 10, and Round House Lot. The facility does not have a designated parking area, but visitors can park in Round House Lot for a fee.

The entrances to the park have pedestrian crosswalks and warning surfaces. The entrance from Round House lot contains steps to access the park and an ADA accessible ramp.

At this facility, Tighe & Bond staff evaluated the existing conditions of the playground.

1.9.1 Playground

The playground at Pulaski Park is located just north of the spiral pathway that is used to access the park from Round House Lot. The following was observed during a site visit:

- Playground contains a log climbing structure and a spin/climber in good condition.
- Equipment has adequate fall zone protection.
- Wooden benches are provided throughout the play area, allowing supervisor to have sample seating opportunities.

1.10 Musante Beach

Musante Beach, located at 85 Reservoir Road, is in the northwest section of the City of Northampton. The facility contains a parking lot, a restroom, and a paved path to access the beach.

The parking lot contains two ADA accessible spots. The ADA spots are not van-accessible, as no access aisle is provided.

At this facility, Tighe & Bond staff evaluated the existing conditions of the restrooms.

1.10.1 Restroom

The facility has one restroom structure to the west of the parking lot area that is accessible by steps or a paved pathway. The following was observed during a site visit on December 27, 2023:

- The paint on the interior walls and flooring of the structure is in poor condition and peeling.
- Structure does not meet 521 CMR standards and 2010 ADA Accessibility standards, as the grab bar dimensions in the toilet stalls are not sufficient, there is exposed piping under the sink, and the facility does not provide an ADA accessible ramp next to the stairs to easily access the restroom from the parking lot.

Tighe&Bond

**APPENDIX C
ATTACHMENT 1**

HARD COURT FIELD DATA EVALUATION SHEET

Court Rating	2.14
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Date: December 1, 2023
Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Agnes Fox Playground
Field Designation	1
Project Address	253 State Street, Northampton, MA 01060
Court Use	Basketball
Number of Courts	1
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the court?	North: Church street South: Residential East: Residential West: State street
What is the distance to any environmentally sensitive areas (ie. watersheds)?	No environmentally sensitive areas identified.
Notes: N/A	

2. General Site Conditions	
Comments on site accessibility	Sidewalks surrounding the facility are in poor condition with some cracks. The sidewalk on the western side of the facility to access the hardcourts is uneven and dips.
Is the layout of the site safe for users?	Site is generally safe for users, however there is no sidewalk to access the double swing gate entrance. Additionally, no lighting is provided on-site, and park is open until 8:30 pm.
What parking is being provided on site? Describe its condition.	None. Street parking is allowed, but not on park side of Church Street. Sidewalk is cracked and uneven. Not ADA from corner of state and church streets.
What additional buildings are on-site? Describe their condition.	N/A
What drainage and irrigation structures are on site? Describe their condition.	Catch basin outside of double swing gate on Church Street is in good condition. No drainage infrastructure provided on site.
<p>Notes: Site does not contain a parking facility. The chain-link fence surrounding the perimeter of the facility is broken in multiple places with the chain-link separating from the posts. Entrance signs into park are very worn and contain graffiti.</p>	
3. Field Measurements	
Total Court Length	103
Total Court Width	55
Individual Court Length	97
Individual Court Width	49
Solar Orientation	Above southern hoop at 10am.
4. Court Conditions	
What is the age of the court(s)?	
What type of construction material was used (ie. asphalt, clay,etc)?	Asphalt
What type of surface is the court(s)?	Asphalt

What is the overall condition of the court pavement?	Pavement is in poor condition, with cracking and some growth in cracks. Low spots around posts and at edges have been filled in. The uneven surface raises concern for a potential safety issue.
What type of fencing is provided around the court? Describe the condition.	N/A
5. Equipment	
What is the condition of the scoreboards?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	Limited, with Two benches per side and one picnic table. All are stable but could be refinished.
What is the condition of the nets?	Basketball nets are in poor condition and worn. Posts are not level.
What is the condition of player benches?	Players benches are in fair condition but show signs of rust and paint decay.
What is the condition of flag poles?	N/A

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA	X			
Site Safety		X		
Equipment		X		
Court Geometry				X
Court Condition		X		
Lighting	X			
Site Drainage and Irrigation			X	
Average Evaluation Score:				2.14

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Agnes Fox Playground

BASEBALL & SOFTBALL FIELD DATA EVALUATION SHEET

Field Rating	2.43
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Date: December 1, 2023

Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Arcanum Field
Field Designation	Space 1: 90-Foot Baseball Diamond
Facility Address	220 Bridge Rd, Northampton, MA 01062
Field Type	Baseball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Parking lot and more sports fields South: Bridge Road East: Mountain Street West: Northampton
What is the distance to any environmentally sensitive areas (ie. watersheds)?	N/A
Notes:	

2. General Site Conditions	
Comments on site accessibility	Three van-accessible parking spaces, two in lot between baseball fields and one in lot by basketball courts. Crushed stone path is located along eastern edge of facility, but there are no continuous paths connecting the entire facility. Lot closest to baseball field contains 65 total parking spaces and should have 3 ADA spaces.
Is the layout of the site safe for users?	Yes, users do not have to travel along a main road to access the facility and no site hazards were observed.
What parking is being provided on site? Describe its condition.	Two parking lots are in good condition with some minor cracks in the pavement that have been sealed. Parking striping is faded, but still visible.
What additional buildings are on-site? Describe their condition.	Concession stand is in fair condition. Safety Village is in good condition with guardrail around the perimeter.
What drainage and irrigation structures are on site? Describe their condition.	Parking lot is sloped towards 2 catch basins in the center. Catch basins are in good condition, with minor settling and sediment accumulation around the catch basin.
Notes: No lighting provided for the parking lot or athletic fields.	
3. Field Measurements	
First Base	90 feet
Left Field	188 feet
Right Field	110 feet
Solar Orientation	Sun in outfield in morning
4. Field Conditions	
What is the overall condition of the turf?	Outfield has thin cover and some clumps of grass
Are adequate slopes being provided on the field to prevent ponding water?	Minor areas of ponding were observed in the outfield, likely due to uneven slopes. Infield was soft and went, likely from its freeze/thaw cycle.
What is the condition of field markings and striping?	N/A
What type of fencing is provided around the court? Describe the condition.	Chain-link fencing is provided along the backstop and seating areas. Chain-link is bent in some locations. Fence near left field has trees and brush growing under, through, and over.
5. Equipment	
What is the condition of the bases and home plate?	Good

What is the condition of the pitcher's mound and rubber?	Pitcher's mound and rubber is in poor condition with holes in front of rubber and vegetation growth on mound.
What is the condition of the backstop?	The backstop is in fair condition, as the plastic cover at the top of the fence has fallen.
What is the condition of the scoreboards?	N/A
What is the condition of the dugout (s)?	Dugout consists of players benches surrounded by chain-link fencing in fair condition. Chain-link fencing is bent at bottom.
What is the condition of the infield skin?	Poor with vegetation growth in dirt. Infield grass in good condition.
What is the condition of the foul poles?	N/A
What is the condition of the warning track?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	Spectator seating consists of bleachers in good condition on an asphalt surface with railing at top.
What is the condition of the flagpole?	Good
What is the condition of the players' benches?	Bench paint has faded and metal portions of bench are rusting. Top plastic guard of backstop has fallen into bench areas.

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA		X		
Site Safety				X
Equipment			X	
Field Geometry		X		
Field Condition		X		
Lighting		X		
Site Drainage and Irrigation		X		
Average Evaluation Score:				2.43

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Arcanum Field

BASEBALL & SOFTBALL FIELD DATA EVALUATION SHEET

Field Rating	2.57
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Date: December 1, 2023

Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Arcanum Field
Field Designation	Space 2: 60-Foot Baseball Diamond
Facility Address	220 Bridge Rd, Northampton, MA 01062
Field Type	Baseball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Parking area and basketball court South: Parking area and baseball field East: Mountain Street West: North Maple Street
What is the distance to any environmentally sensitive areas (ie. watersheds)?	N/A
Notes:	
2. General Site Conditions	
Comments on site accessibility	Three van-accessible parking spaces, two in lot between baseball fields and one in lot by basketball courts. Crushed stone path is located along eastern edge of facility, but there are no continuous paths connecting the entire facility. Lot closest to

	baseball field contains 65 total parking spaces and should have 3 ADA spaces.
Is the layout of the site safe for users?	Yes, users do not have to travel along a main road to access the facility and no site hazards were observed.
What parking is being provided on site? Describe its condition.	Two parking lots are in good condition with some minor cracks in the pavement that have been sealed. Parking striping is faded, but still visible.
What additional buildings are on-site? Describe their condition.	Concession stand is in fair condition. Safety Village is in good condition with guardrail around the perimeter.
What drainage and irrigation structures are on site? Describe their condition.	Parking lot is sloped towards 2 catch basins in the center. Catch basins are in good condition, with minor settling and sediment accumulation around the catch basin.
Notes: No lighting provided for the parking lot or athletic fields.	
3. Field Measurements	
First Base	60 feet
Left Field	98 feet
Right Field	98 feet
Solar Orientation	Sun in outfield in morning.
4. Field Conditions	
What is the overall condition of the turf?	Good condition with full vegetation.
Are adequate slopes being provided on the field to prevent ponding water?	Adequate slopes are being provided and no ponding water was observed.
What is the condition of field markings and striping?	N/A
What type of fencing is provided around the court? Describe the condition.	The entire field is surrounded by chain-link fencing. Posts and chain-link is in good condition.
5. Equipment	
What is the condition of the bases and home plate?	Bases and home plates are removable and were not present at the time of observation. Posts for bases and home plates are in good condition.
What is the condition of the pitcher's mound and rubber?	Good.
What is the condition of the backstop?	Cage and chain-link backstop are in good condition.
What is the condition of the scoreboards?	Good condition.

What is the condition of the dugout (s)?	Dugout consists of players benches surrounded by chain-link fencing in good condition.
What is the condition of the infield skin?	Infield skin is in good condition with no vegetation growth. Base paths were soft and wet likely from freeze/thaw cycle
What is the condition of the foul poles?	Foul poles are in fair with heavy discoloration.
What is the condition of the warning track?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	Wooden bleachers with no protection at the top. Paint has faded and there is some wood decay.
What is the condition of the flagpole?	Good.
What is the condition of the players' benches?	Metal players benches are in good condition.

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA		X		
Site Safety				X
Equipment			X	
Field Geometry	X			
Field Condition			X	
Lighting		X		
Site Drainage and Irrigation			X	
Average Evaluation Score:				2.57

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Arcanum Field\Space 2 - 60' baseball

HARD COURT FIELD DATA EVALUATION SHEET

Court Rating	2.86
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Date: December 1, 2023
Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Arcanum Field
Field Designation	Space 3: Hard Court
Project Address	220 Bridge Rd, Northampton, MA 01062
Court Use	Basketball
Number of Courts	2
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the court?	North: Open field to intersection South: Parking lot and baseball field East: Mountain Street West: North Maple Street
What is the distance to any environmentally sensitive areas (ie. watersheds)?	N/A
Notes:	

2. General Site Conditions	
Comments on site accessibility	Three van-accessible parking spaces, two in lot between baseball fields and one in lot by basketball courts. Crushed stone path is located along eastern edge of facility, but there are no continuous paths connecting the entire facility. Lot closest to baseball field contains 65 total parking spaces and should have 3 ADA spaces.
Is the layout of the site safe for users?	Yes, users do not have to travel along a main road to access the facility and no site hazards were observed.
What parking is being provided on site? Describe its condition.	Two parking lots are in good condition with some minor cracks in the pavement that have been sealed. Parking striping is faded, but still visible.
What additional buildings are on-site? Describe their condition.	Concession stand is in fair condition. Safety Village is in good condition with guardrail around the perimeter.
What drainage and irrigation structures are on site? Describe their condition.	Parking lot is sloped towards 2 catch basins in the center. Catch basins are in good condition, with minor settling and sediment accumulation around the catch basin.
Notes: No lighting provided for the parking lot or athletic fields.	
3. Field Measurements	
Total Court Length	95
Total Court Width	120
Individual Court Length	79
Individual Court Width	49
Solar Orientation	Sun not along lines of play
4. Court Conditions	
What is the age of the court(s)?	
What type of construction material was used (ie. asphalt, clay,etc)?	Asphalt
What type of surface is the court(s)?	Asphalt
What is the overall condition of the court pavement?	The pavement is in fair with some larger cracking (~1") and smaller cracks. Larger cracks contain vegetation growth.
What type of fencing is provided around the court? Describe the condition.	Court is surrounded by chain-link fencing in good condition.
What is the condition of drainage on the court?	Court drains to the northeast corner. No ponding water was observed.

5. Equipment	
What is the condition of the scoreboards?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	N/A
What is the condition of the nets?	Backboards are in good condition, but support posts rusted. Hoops and net are also in good condition.
What is the condition of player benches?	N/A
What is the condition of flag poles?	N/A

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA		X		
Site Safety				X
Equipment				X
Court Geometry				X
Court Condition		X		
Lighting		X		
Site Drainage and Irrigation		X		
Average Evaluation Score:				2.86

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Arcanum Field\Space 3 - hardcourt

BASEBALL & SOFTBALL FIELD DATA EVALUATION SHEET

Field Rating	2.58
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Date: December 1, 2023
Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Florence Recreation Fields
Field Designation	Space 1: 90-Foot Baseball Diamond
Facility Address	127 Spring Street, Northampton, MA 01062
Field Type	Baseball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Farm fields South: Parking lot and residential East: More recreation fields West: Residential
What is the distance to any environmentally sensitive areas (ie. watersheds)?	Mill River is located approximately 600 feet East of the southeast corner of the facility. The eastern portion of the facility is located within an AE Q3 FEMA flood zone and the western portion of the site is located within the X500 Q3 FEMA flood zone.
Notes: During the field visit, resident said that river near facility floods the fields during heavy summer storms.	
2. General Site Conditions	
Comments on site accessibility	Walking path around park, path through playground and playground are level with the walkway and in good condition.

	Accessible ramps from parking area to walkway and buildings are in good condition. ADA parking spaces are present, but there are not enough to meet requirements.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Two lots - one off Spring Street and one off Meadow Street. Spring Street parking lot is in good condition and accessible spots are present. Lot off Meadow Street is in fair condition, with broken and exposed pervious pavers.
What additional buildings are on-site? Describe their condition.	Bathrooms and pavilion are in good condition.
What drainage and irrigation structures are on site? Describe their condition.	Drainage swales and metal walkways over swales. Swales are in good condition with no signs of erosion. Low spot observed in the center of the facility just north of Space 2.
Notes: Pervious pavers in parking lot off Meadow Street are loose and some pieces were observed in the athletic fields. Sight lighting not observed.	
3. Field Measurements	
First Base	87 Feet
Left Field	190 Feet
Right Field	188 Feet
Solar Orientation	Sun behind home plate in early afternoon
4. Field Conditions	
What is the overall condition of the turf?	Good condition with full vegetative cover.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, no ponding water was observed on-site. Base paths were wet and soft, likely from freeze/thaw cycle.
What is the condition of field markings and striping?	N/A
What type of fencing is provided around the court? Describe the condition.	Baseball field is surrounded by chain-link fencing in good condition.
5. Equipment	
What is the condition of the bases and home plate?	Excellent.
What is the condition of the pitcher's mound and rubber?	Excellent.
What is the condition of the backstop?	Backstop chain-link fencing and nets are in excellent condition.
What is the condition of the scoreboards?	N/A

What is the condition of the dugout (s)?	N/A
What is the condition of the infield skin?	Good
What is the condition of the foul poles?	Good
What is the condition of the warning track?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	Four riser metal bleachers are in good condition. Bleachers have no back protection at the top.
What is the condition of the flagpole?	Good
What is the condition of the players' benches?	Excellent

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA		X		
Site Safety				X
Equipment				X
Field Geometry	X			
Field Condition			X	
Lighting		X		
Site Drainage and Irrigation		X		
Average Evaluation Score:				2.58

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Florence Recreation Fields\Space 1 - 90' baseball

BASEBALL & SOFTBALL FIELD DATA EVALUATION SHEET

Field Rating	2.58
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Date: December 1, 2023
Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Florence Recreation Fields
Field Designation	Space 2: 60-Foot Baseball Diamond
Facility Address	127 Spring Street, Northampton, MA 01062
Field Type	Baseball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Rec fields and farm fields South: Parking area and residential East: Rec fields West: Rec fields and residential
What is the distance to any environmentally sensitive areas (ie. watersheds)?	Mill River is located approximately 600 feet East of the southeast corner of the facility. The eastern portion of the facility is located within an AE Q3 FEMA flood zone and the western portion of the site is located within the X500 Q3 FEMA flood zone.
Notes: During the field visit, resident said that river near facility floods the fields during heavy summer storms.	

2. General Site Conditions	
Comments on site accessibility	Walking path around park, path through playground and playground are level with the walkway and in good condition. Accessible ramps from parking area to walkway and buildings are in good condition. ADA parking spaces are present, but there are not enough to meet requirements.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Two lots - one off Spring Street and one off Meadow Street. Spring Street parking lot is in good condition and accessible spots are present. Lot off Meadow Street is in fair condition, with broken and exposed pervious pavers.
What additional buildings are on-site? Describe their condition.	Bathrooms and pavilion in good condition.
What drainage and irrigation structures are on site? Describe their condition.	Drainage swales and metal walkways over swales. Swales are in good condition with no signs of erosion. Low spot observed in the center of the facility just north of Space 2.
Notes: Pervious pavers in parking lot off Meadow Street are loose and some pieces were observed in the athletic fields. Sight lighting not observed.	
3. Field Measurements	
First Base	60 Feet
Left Field	110 Feet
Right Field	120 Feet
Solar Orientation	Sun behind home plate in early afternoon
4. Field Conditions	
What is the overall condition of the turf?	Turf is in good condition and has a few minor divots or bumps.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, no ponding water was observed.
What is the condition of field markings and striping?	N/A
What type of fencing is provided around the court? Describe the condition.	Field is surrounded by chain-link fence that is in good condition.
5. Equipment	
What is the condition of the bases and home plate?	Good
What is the condition of the pitcher's mound and rubber?	The pitcher mound and rubber are in fair condition. Side of rubber is exposed from ground.

What is the condition of the backstop?	Backstop is in good condition, but the net is pulling away from cable in some places and needs to be resecured.
What is the condition of the scoreboards?	N/A
What is the condition of the dugout (s)?	N/A
What is the condition of the infield skin?	Infield skin is in poor condition with heavy vegetation growth.
What is the condition of the foul poles?	Good
What is the condition of the warning track?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	Spectator seating is only on third base side and in good condition.
What is the condition of the flagpole?	Good
What is the condition of the players' benches?	Good

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA		X		
Site Safety				X
Equipment			X	
Field Geometry		X		
Field Condition			X	
Lighting		X		
Site Drainage and Irrigation		X		
Average Evaluation Score:				2.58

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Florence Recreation Fields\Space 2 - 60' baseball

MULTI-PURPOSE RECTANGULAR FIELD EVALUATION SHEET

Field Rating	2.71
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Date: December 1, 2023

Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Florence Recreation Fields
Field Designation	Space 3: Multi-Purpose Rectangular Field
Facility Address	127 Spring Street, Northampton, MA 01062
Sports Played on Field	Soccer
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Soccer field South: Drainage swale and walking path East: Soccer field West: Baseball field
What is the distance to any environmentally sensitive areas (ie. watersheds)?	Mill River is located approximately 600 feet East of the southeast corner of the facility. The eastern portion of the facility is located within an AE Q3 FEMA flood zone and the western portion of the site is located within the X500 Q3 FEMA flood zone.
Notes: During the field visit, resident said that river near facility floods the fields during heavy summer storms.	

2. General Site Conditions	
Comments on site accessibility	Good - Walking path around park, path through playground and playground are level with the walkway and in good condition. Accessible ramps from parking area to walkway and buildings are in good condition. ADA parking spaces are present, but there are not enough to meet requirements.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Two lots - one off Spring Street and one off Meadow Street. Spring Street parking lot is in good condition and accessible spots are present. Lot off Meadow Street is in fair condition, with broken and exposed pervious pavers.
What additional buildings are on-site? Describe their condition.	Bathrooms and pavilion in good condition.
What drainage and irrigation structures are on site? Describe their condition.	Drainage swales and metal walkways over swales. Swales are in good condition with no signs of erosion. Low spot observed in the center of the facility just north of Space 2.
Notes: Pervious pavers in parking lot off Meadow Street are loose and some pieces were observed in the athletic fields. Sight lighting not observed.	
3. Field Measurements	
Length	233 feet
Width	161 feet
Runout	20 feet (to Space 4)
Solar Orientation	Sun facing southwest in early afternoon.
4. Field Conditions	
What is the overall condition of the turf?	Fair - Turf shows signs of high use and wear, thin cover, and ruts/divots in field.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, the field slopes to the east and no ponding water was observed.
What is the condition of field markings and striping?	Fair - Faint lines were present, but field was not in use during time of observation.
What is the condition of the fencing around the field?	N/A
5. Equipment	
What is the condition of the goal posts?	Good - Stockpiled goals are in good condition.
What is the condition of the P.A. system?	N/A

What is the condition of the press box?	N/A
What is the condition of spectator seating?	N/A
What is the condition of the flagpole?	N/A
What is the condition of the players' benches?	N/A
What is the condition of the scoreboard?	N/A

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA		X		
Site Safety				X
Equipment			X	
Field Geometry				X
Field Condition		X		
Lighting		X		
Site Drainage and Irrigation		X		
Average Evaluation Score:				2.71

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Florence Recreation Fields\Space 3 - MPR

MULTI-PURPOSE RECTANGULAR FIELD EVALUATION SHEET

Field Rating	2.71
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Date: December 1, 2023
Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Florence Recreation Fields
Field Designation	Space 4: Multi-Purpose Rectangular Field
Facility Address	127 Spring Street, Northampton, MA 01062
Sports Played on Field	Soccer
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Open rec field South: Drainage swale, walking path, and meadow street East: Parking area West: Soccer fields
What is the distance to any environmentally sensitive areas (ie. watersheds)?	Mill River is located approximately 600 feet East of the southeast corner of the facility. The eastern portion of the facility is located within an AE Q3 FEMA flood zone and the western portion of the site is located within the X500 Q3 FEMA flood zone.
Notes: During the field visit, resident said that river near facility floods the fields during heavy summer storms.	

2. General Site Conditions	
Comments on site accessibility	Good - Walking path around park, path through playground and playground are level with the walkway and in good condition. Accessible ramps from parking area to walkway and buildings are in good condition. ADA parking spaces are present, but there are not enough to meet requirements.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Two lots - one off Spring Street and one off Meadow Street. Spring Street parking lot is in good condition and accessible spots are present. Lot off Meadow Street is in fair condition, with broken and exposed pervious pavers.
What additional buildings are on-site? Describe their condition.	Bathrooms and pavilion in good condition.
What drainage and irrigation structures are on site? Describe their condition.	Drainage swales and metal walkways over swales. Swales are in good condition with no signs of erosion. Low spot observed in the center of the facility just north of Space 2.
Notes: Pervious pavers in parking lot off Meadow Street are loose and some pieces were observed in the athletic fields. Sight lighting not observed.	
3. Field Measurements	
Length	312 Feet
Width	217 Feet
Runout	15 Feet to Walkway
Solar Orientation	Sun orientation to the southwest
4. Field Conditions	
What is the overall condition of the turf?	Fair- goal box cover is very thin, and the goalie area and penalty kick area are bare and rutted.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, field slopes to the East and no ponding water was observed on site.
What is the condition of field markings and striping?	Fair - faint lines were present, but field was not in use during time of observation.
What is the condition of the fencing around the field?	N/A
5. Equipment	
What is the condition of the goal posts?	Good - stockpiled goals are in good condition.
What is the condition of the P.A. system?	N/A

What is the condition of the press box?	N/A
What is the condition of spectator seating?	N/A
What is the condition of the flagpole?	N/A
What is the condition of the players' benches?	N/A
What is the condition of the scoreboard?	N/A

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA		X		
Site Safety				X
Equipment			X	
Field Geometry				X
Field Condition		X		
Lighting		X		
Site Drainage and Irrigation		X		
Average Evaluation Score:				2.71

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Florence Recreation Fields\Space 4 - MPR

MULTI-PURPOSE RECTANGULAR FIELD EVALUATION SHEET

Field Rating	2.43
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Date: December 1, 2023

Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Florence Recreation Fields
Field Designation	Space 5: Multipurpose Rectangular Field
Facility Address	127 Spring Street, Northampton, MA 01062
Sports Played on Field	Soccer
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Farm field South: Baseball field East: Rec fields West: Baseball field
What is the distance to any environmentally sensitive areas (ie. watersheds)?	Mill River is located approximately 600 feet East of the southeast corner of the facility. The eastern portion of the facility is located within an AE Q3 FEMA flood zone and the western portion of the site is located within the X500 Q3 FEMA flood zone.
Notes: During the field visit, resident said that river near facility floods the fields during heavy summer storms.	

2. General Site Conditions	
Comments on site accessibility	Good - walking path around park, path through playground and playground are level with the walkway and in good condition. Accessible ramps from parking area to walkway and buildings are in good condition. ADA parking spaces are present, but there are not enough to meet requirements.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Two lots - one off Spring Street and one off Meadow Street. Spring Street parking lot is in good condition and accessible spots are present. Lot off Meadow Street is in fair condition, with broken and exposed pervious pavers.
What additional buildings are on-site? Describe their condition.	Bathrooms and pavilion in good condition.
What drainage and irrigation structures are on site? Describe their condition.	Drainage swales and metal walkways over swales. Swales are in good condition with no signs of erosion. Low spot observed in the center of the facility just north of Space 2.
Notes: Pervious pavers in parking lot off Meadow Street are loose and some pieces were observed in the athletic fields. Sight lighting not observed.	
3. Field Measurements	
Length	2 individual courts: 150 feet each
Width	2 individual courts: 102 feet each
Runout	28 feet (between fields) and 38 feet (to walkway)
Solar Orientation	Sun orientation to the southwest in early afternoon.
4. Field Conditions	
What is the overall condition of the turf?	Fair - turf is in fair condition with thin cover in center of field. Bare ground and divots in front of goal locations and penalty kick line.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, gradual but consistent cross slope. 2/3 of field slopes to south.
What is the condition of field markings and striping?	Faint lines were present, but field was not in use during time of observation.
What is the condition of the fencing around the field?	N/A
5. Equipment	

What is the condition of the goal posts?	Good - stockpiled goals are in good condition.
What is the condition of the P.A. system?	N/A
What is the condition of the press box?	N/A
What is the condition of spectator seating?	N/A
What is the condition of the flagpole?	N/A
What is the condition of the players' benches?	N/A
What is the condition of the scoreboard?	N/A

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA		X		
Site Safety				X
Equipment			X	
Field Geometry		X		
Field Condition		X		
Lighting		X		
Site Drainage and Irrigation		X		
Average Evaluation Score:				2.43

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Florence Recreation Fields\Space 5 - MPR

MULTI-PURPOSE RECTANGULAR FIELD EVALUATION SHEET

Field Rating	2.67
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Date: December 1, 2023

Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Florence Recreation Fields
Field Designation	Space 6 and 7: Multipurpose Rectangular Field
Facility Address	127 Spring Street, Northampton, MA 01062
Sports Played on Field	Open fields - surrounded by soccer fields
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Farm field South: Soccer fields East: Parking lot West: Soccer fields
What is the distance to any environmentally sensitive areas (ie. watersheds)?	Mill River is located approximately 600 feet East of the southeast corner of the facility. The eastern portion of the facility is located within an AE Q3 FEMA flood zone and the western portion of the site is located within the X500 Q3 FEMA flood zone.
Notes: During the field visit, resident said that river near facility floods the fields during heavy summer storms.	

2. General Site Conditions	
Comments on site accessibility	Good - walking path around park, path through playground and playground are level with the walkway and in good condition. Accessible ramps from parking area to walkway and buildings are in good condition. ADA parking spaces are present, but there are not enough to meet requirements.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Two lots - one off Spring Street and one off Meadow Street. Spring Street parking lot is in good condition and accessible spots are present. Lot off Meadow Street is in fair condition, with broken and exposed pervious pavers.
What additional buildings are on-site? Describe their condition.	Bathrooms and pavilion in good condition.
What drainage and irrigation structures are on site? Describe their condition.	Drainage swales and metal walkways over swales. Swales are in good condition with no signs of erosion. Low spot observed in the center of the facility just north of Space 2.
Notes: Pervious pavers in parking lot off Meadow Street are loose and some pieces were observed in the athletic fields. Sight lighting not observed.	
3. Field Measurements	
Length	N/A (no striping)
Width	N/A (no striping)
Runout	N/A (no striping)
Solar Orientation	Sun orientation to the southwest in early afternoon.
4. Field Conditions	
What is the overall condition of the turf?	Good - Turf has dense grass cover and a smooth surface.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, no ponding water was observed
What is the condition of field markings and striping?	No striping and no signs of consistent use as a field with goal locations.
What is the condition of the fencing around the field?	N/A
5. Equipment	

What is the condition of the goal posts?	Good - goals stockpiled in parking lot are in good condition.
What is the condition of the P.A. system?	N/A
What is the condition of the press box?	N/A
What is the condition of spectator seating?	N/A
What is the condition of the flagpole?	N/A
What is the condition of the players' benches?	N/A
What is the condition of the scoreboard?	N/A

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA		X		
Site Safety				X
Equipment			X	
Field Geometry	N/A	N/A	N/A	N/A
Field Condition			X	
Lighting		X		
Site Drainage and Irrigation		X		
Average Evaluation Score:				2.67

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Florence Recreation Fields\Space 6 and 7 - unlined MPR

BASEBALL & SOFTBALL FIELD DATA EVALUATION SHEET

Field Rating	1.86
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Date: December 1, 2023

Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Maines Field
Field Designation	Space 1: 60-Foot Softball Diamond
Facility Address	570 Riverside Drive, Northampton, MA 01062
Field Type	Softball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Riverside Drive South: Parking area East: Riverside Drive West: Woods and residential
What is the distance to any environmentally sensitive areas (ie. watersheds)?	Mill River about 100 feet from driveway entrance into facility. The facility is located within an AE Q3 FEMA flood zone.
Notes:	
2. General Site Conditions	
Comments on site accessibility	Site not easily accessible with no paths and uneven walking surfaces. No designated ADA parking spaces.

Is the layout of the site safe for users?	No, playground and volleyball courts are extremely close to access driveways to parking lots. No paths are provided throughout the park to access the playground or athletic areas.
What parking is being provided on site? Describe its condition.	One paved parking lot with no striping, and one gravel lot with no defined limits or striping. Access drive contains numerous deep potholes.
What additional buildings are on-site? Describe their condition.	Building to north of access drive in poor condition with gaps in foundation, crack in wall, heavy vegetative growth on roof. See structures evaluation.
What drainage and irrigation structures are on site? Describe their condition.	Parking lot contains two catch basins. One catch basin gets water from a swale off Riverside Drive that is covered with debris. Signs of bypass and runoff from road into park.
3. Field Measurements	
First Base	64 Feet
Left Field	188 Feet
Right Field	180 Feet
Solar Orientation	Heavy cloud cover during site visit, unable to determine solar orientation.
4. Field Conditions	
What is the overall condition of the turf?	Turf is in poor, which inconsistent cover and uneven in the outfield.
Are adequate slopes being provided on the field to prevent ponding water?	No, erosion is visible in dugout area and signs of ponding on the field.
What is the condition of field markings and striping?	N/A
What type of fencing is provided around the court? Describe the condition.	Chain-link fencing in fair condition is provided along the first base and third base sides. Posts are shifted and chainlink bent and pulling away from posts.
5. Equipment	
What is the condition of the bases and home plate?	Poor condition and are eroding.
What is the condition of the pitcher's mound and rubber?	Poor condition and are eroding.
What is the condition of the backstop?	Poor condition, as fence is not perpendicular to ground, concrete for posts is exposed and eroding, and chain-link is pulling away from posts.
What is the condition of the scoreboards?	N/A
What is the condition of the dugout (s)?	Dugout is in fair condition and is surrounded by chain-link fencing. There is weed growth under the players benches and fencing is in poor condition.

What is the condition of the infield skin?	Poor condition with heavy erosion along the first base line.
What is the condition of the foul poles?	Good condition with minor signs of paint decay.
What is the condition of the warning track?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	Spectator seating consist of wooden bleachers that are in poor condition with heavy paint decay.
What is the condition of the flagpole?	Poor
What is the condition of the players' benches?	Poor- players' benches are angled. Catch basin at entry from third base bench to field is a safety hazard

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA	X			
Site Safety		X		
Equipment	X			
Field Geometry				X
Field Condition	X			
Lighting			X	
Site Drainage and Irrigation	X			
Average Evaluation Score:				1.86

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Maines Field\Space 1 - Softball

**MULTI-PURPOSE RECTANGULAR FIELD
EVALUATION SHEET**

Field Rating	Poor
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Date: December 3, 2023 4:15 PM
Observer: TaraWalsh

BASIC FACILITY INFORMATION	
Facility Name	Maines Field
Field Designation	Space 4: two sand volleyball - no nets
Facility Address	570 Riverside Drive, Northampton, MA 01062
Sports Played on Field	volleyball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: parking South: driveway East: driveway West: open field and playground

What is the distance to any environmentally sensitive areas (ie. watersheds)?	River about 100 feet from driveway
Notes:	
2. General Site Conditions	
Comments on site accessibility	not easily accessible - no paths, uneven walking surfaces
Is the layout of the site safe for users?	No
What parking is being provided on site? Describe its condition.	one paved parking with no striping. one gravel lot with no defined limits or striping, potholes in access drive
What additional buildings are on-site? Describe their condition.	one building to north of access drive in poor condition. gaps in foundation, crack in wall, heavy growth on roof
What drainage and irrigation structures are on site? Describe their condition.	two catch basins in parking lot. One catch basin in swale off Riverside Drive that is covered with debris. Signs of bypass and runoff from road into park
3. Field Measurements	
Length	70
Width	80
Runout	open area surrounding
Solar Orientation	cloud cover too heavy
4. Field Conditions	
What is the overall condition of the turf?	poor
Are adequate slopes being provided on the field to prevent ponding water?	no - low spot
What is the condition of field markings and striping?	none
What is the condition of the fencing around the field?	none

5. Equipment	
What is the condition of the goal posts?	poor - no nets
What is the condition of the P.A. system?	none
What is the condition of the press box?	none
What is the condition of spectator seating?	none
What is the condition of the flagpole?	none
What is the condition of the players' benches?	none
What is the condition of the scoreboard?	

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA	X			
Site Safety			X	
Equipment	X			
Field Geometry			X	
Field Condition	X			
Lighting		X		
Site Drainage and Irrigation	X			
Average Evaluation Score:				Fair

Photo Documentation Location:

**MULTI-PURPOSE RECTANGULAR FIELD
EVALUATION SHEET**

Field Rating	Good
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Date: December 3, 2023 4:12 PM

Observer: TaraWalsh

BASIC FACILITY INFORMATION	
Facility Name	Maines Field
Field Designation	Space 5: 2 sand volleyball courts
Facility Address	570 Riverside Drive, Northampton, MA 01062
Sports Played on Field	sand volleyball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	<p>North: open field and Riverside Drive</p> <p>South: Driveway into park and woods</p> <p>East: open field and driveway</p> <p>West: softball field</p>

What is the distance to any environmentally sensitive areas (ie. watersheds)?	River about 100 feet from driveway
Notes:	
2. General Site Conditions	
Comments on site accessibility	not easily accessible - no paths, uneven walking surfaces
Is the layout of the site safe for users?	No
What parking is being provided on site? Describe its condition.	one paved parking with no striping. one gravel lot with no defined limits or striping, potholes in access drive
What additional buildings are on-site? Describe their condition.	one building to north of access drive in poor condition. gaps in foundation, crack in wall, heavy growth on roof
What drainage and irrigation structures are on site? Describe their condition.	two catch basins in parking lot. One catch basin in swale off Riverside Drive that is covered with debris. Signs of bypass and runoff from road into park
3. Field Measurements	
Length	70
Width	80
Runout	open field surrounding
Solar Orientation	cloud cover too heavy to determine
4. Field Conditions	
What is the overall condition of the turf?	good (sand)
Are adequate slopes being provided on the field to prevent ponding water?	yes, sloped to south west
What is the condition of field markings and striping?	none
What is the condition of the fencing around the field?	none

5. Equipment	
What is the condition of the goal posts?	wooden posts in fair condition
What is the condition of the P.A. system?	none
What is the condition of the press box?	N/A
What is the condition of spectator seating?	none
What is the condition of the flagpole?	none
What is the condition of the players' benches?	none
What is the condition of the scoreboard?	

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA	X			
Site Safety			X	
Equipment	X			
Field Geometry			X	
Field Condition	X			
Lighting		X		
Site Drainage and Irrigation	X			
Average Evaluation Score:				Fair

Photo Documentation Location:

BASEBALL & SOFTBALL FIELD DATA EVALUATION SHEET

Field Rating	2.14
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Date: December 1, 2023
Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Ray Ellerbrook Field
Field Designation	Space 1: 60 Foot Baseball Diamond
Facility Address	50 Burts Pitt Road, Northampton, MA 01060
Field Type	Baseball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Parking area South: Woods and trail East: Open field West: Woods
What is the distance to any environmentally sensitive areas (ie. watersheds)?	N/A
Notes:	
2. General Site Conditions	
Comments on site accessibility	Poor with no designated striped parking or walkways.

Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	One gravel lot is accessible from an access driveway and are in fair condition with small potholes. Eastern portion of parking lot has vegetation growth. Parking lot and access drive are surrounded by a wood fence in fair condition.
What additional buildings are on-site? Describe their condition.	N/A
What drainage and irrigation structures are on site? Describe their condition.	One catch basin at corner of driveway.
Notes: Facility contains no site lighting.	
3. Field Measurements	
First Base	63 Feet
Left Field	90 Feet (to end of striping)
Right Field	80 Feet (to end of striping)
Solar Orientation	Sun not observed at time of visit.
4. Field Conditions	
What is the overall condition of the turf?	Turf condition is poor with thin cover and some large tufts of grass creating uneven surface.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, outfield slopes away from infield and no ponding water was observed.
What is the condition of field markings and striping?	Good
What type of fencing is provided around the court? Describe the condition.	Fencing for backstop is in good condition.
5. Equipment	
What is the condition of the bases and home plate?	Home plate in is good condition; bases are removable.
What is the condition of the pitcher's mound and rubber?	Good
What is the condition of the backstop?	Good
What is the condition of the scoreboards?	N/A
What is the condition of the dugout (s)?	N/A
What is the condition of the infield skin?	Good with some minor ponding water. Overall infield skin is soft, likely from freeze/thaw cycle.

What is the condition of the foul poles?	N/A
What is the condition of the warning track?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	Spectator seating consists of metal bleachers in good condition. Some minor rusting along bleacher posts.
What is the condition of the flagpole?	N/A
What is the condition of the players' benches?	Metal players' benches are in good condition.

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA	X			
Site Safety			X	
Equipment			X	
Field Geometry	X			
Field Condition			X	
Lighting	X			
Site Drainage and Irrigation			X	
Average Evaluation Score:				2.14

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Ray Ellerbrook Field\Space 1 - 60' baseball

MULTI-PURPOSE RECTANGULAR FIELD EVALUATION SHEET

Field Rating	2.29
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Date: December 1, 2023

Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Ray Ellerbrook Field
Field Designation	Space 2: Multi-Purpose Rectangular Field
Facility Address	50 Burts Pitt Road, Northampton, MA 01060
Sports Played on Field	Soccer
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Burts Pit Road South: Driveway East: Residential West: Driveway and grazing field
What is the distance to any environmentally sensitive areas (ie. watersheds)?	N/A
Notes:	
2. General Site Conditions	
Comments on site accessibility	Poor with no designated striped parking or walkways.

Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Fair - One gravel lot is accessible from an access driveway and is in fair condition with small potholes. Eastern portion of parking lot has vegetation growth. Parking lot and access drive are surrounded by a wood fence in fair condition.
What additional buildings are on-site? Describe their condition.	N/A
What drainage and irrigation structures are on site? Describe their condition.	One catch basin at corner of driveway.
Notes: Facility contains no site lighting.	
3. Field Measurements	
Length	191 feet (total length); contains 2 smaller fields with lengths of 191 feet.
Width	300 feet (total length); contains 2 smaller fields with widths of 133 feet and 167 feet.
Runout	50 feet north, 33 feet west, 21 feet east, 78 feet south
Solar Orientation	Sun not observed at time of visit.
4. Field Conditions	
What is the overall condition of the turf?	Turf is in fair condition with thin cover and some ruts.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, no ponding water observed.
What is the condition of field markings and striping?	Markings and striping fair condition and are faded.
What is the condition of the fencing around the field?	Fair - field is surrounded by 8-foot chain-link fence at northern and eastern sides between road and residential properties. Field is surrounded by wooden fence on eastern side parallel to the access driveway in fair condition.
5. Equipment	
What is the condition of the goal posts?	Football posts are in good condition and stockpiles goals are in good condition.
What is the condition of the P.A. system?	N/A
What is the condition of the press box?	N/A

What is the condition of spectator seating?	N/A
What is the condition of the flagpole?	N/A
What is the condition of the players' benches?	N/A
What is the condition of the scoreboard?	N/A

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA	X			
Site Safety			X	
Equipment			X	
Field Geometry		X		
Field Condition		X		
Lighting		X		
Site Drainage and Irrigation			X	
Average Evaluation Score:				2.29

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Ray Ellerbrook Field\Space 2 - MPR

BASEBALL & SOFTBALL FIELD DATA EVALUATION SHEET

Field Rating	2.43
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Date: December 4, 2023

Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Sheldon Field Park
Field Designation	Space 1: 60-Foot Softball Diamond
Facility Address	26 Old Ferry Road, Northampton, MA 01060
Field Type	Softball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Soccer field and agricultural field South: Old Ferry Road East: Basketball court West: Parking area
What is the distance to any environmentally sensitive areas (ie. watersheds)?	The majority of the facility is located within the AE Q3 FEMA flood zone and a small part of the western portion of the facility is located within the X500 Q3 FEMA flood zone.
Notes:	
2. General Site Conditions	
Comments on site accessibility	There is an ADA ramp from the bus stop at Bridge Street down into the park and an asphalt walkway along the edge of the park

	to Old Ferry Road. No walkways to individual fields. Four ADA parking spaces in the main parking area.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Good - site has two paved parking areas. Both are in good condition with drainage and cracks have been sealed. Both have very faint striping.
What additional buildings are on-site? Describe their condition.	One building in northwest corner is in poor condition (hole in roof, cracks in walls). Space 1 has a shed that is in good condition from the outside.
What drainage and irrigation structures are on site? Describe their condition.	Good - catch basin is north of the main parking area. Parking is sloped with curb cuts to a grass channel that leads to the catch basin. At time of visit, catch basin was covered with leaves. No irrigation observed.
Note: Overall layout and fields are in good condition, but infields require maintenance. Fences around park and for each field are damaged (broken posts, bent chain-link, broken braces, etc). No site lighting observed.	
3. Field Measurements	
First Base	57 Feet
Left Field	90 Feet
Right Field	96 Feet
Solar Orientation	
4. Field Conditions	
What is the overall condition of the turf?	Outfield has good cover but contains a mix of grass and weeds. Field has some vegetation clumps.
Are adequate slopes being provided on the field to prevent ponding water?	Outfield is sloped away from infield and contains no ponding water. Infield large areas of ponding water.
What is the condition of field markings and striping?	Good
What type of fencing is provided around the court? Describe the condition.	Field has chain-link fencing in front of the backstop and along the third base side. Fence is in fair condition with some leaning posts (near the dugout area) and missing chain-link caps.
5. Equipment	
What is the condition of the bases and home plate?	Good
What is the condition of the pitcher's mound and rubber?	Good

What is the condition of the backstop?	Base board of backstop is in poor condition and is eroding. Fence along first and third is leaning in some places and missing the cap over the chainlink in some spots.
What is the condition of the scoreboards?	N/A
What is the condition of the dugout (s)?	Field contains wooden dugout modular structures with metal players benches. Wooden structure is in good condition.
What is the condition of the infield skin?	Infield skin is in good condition with minor vegetative growth.
What is the condition of the foul poles?	N/A
What is the condition of the warning track?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	Spectator seating consists of 5 riser metal bleachers with a guardrail at the top 2 risers in good condition. There is no seating on third base side.
What is the condition of the flagpole?	Good
What is the condition of the players' benches?	Metal players' bleachers are in good condition.

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA			X	
Site Safety			X	
Equipment			X	
Field Geometry	X			
Field Condition			X	
Lighting		X		
Site Drainage and Irrigation		X		
Average Evaluation Score:				2.43

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Sheldon Field Park\Space 1 - 60' Softball

BASEBALL & SOFTBALL FIELD DATA EVALUATION SHEET

Field Rating	2.29
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Date: December 4, 2023
Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Sheldon Field Park
Field Designation	Space 2: 60-Foot Baseball Diamond
Facility Address	26 Old Ferry Road, Northampton, MA 01060
Field Type	Baseball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Residential South: Parking area East: Soccer field West: Bridge Street
What is the distance to any environmentally sensitive areas (ie. watersheds)?	The majority of the facility is located within the AE Q3 FEMA flood zone and a small part of the western portion of the facility is located within the X500 Q3 FEMA flood zone.
Notes:	
2. General Site Conditions	
Comments on site accessibility	Good - there is an ADA ramp from the bus stop at Bridge Street down into the park and an asphalt walkway along the edge of

	the park to Old Ferry Road. No walkways to individual fields. Four ADA parking spaces in the main parking area.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Fair- site has two paved parking areas. Both have sufficient drainage and cracks in the concrete have been sealed. Both have very faint striping.
What additional buildings are on-site? Describe their condition.	One building in northwest corner is in poor condition (hole in roof, cracks in walls). Space 1 has a shed that is in good condition from outside.
What drainage and irrigation structures are on site? Describe their condition.	Good - catch basin is north of the main parking area. Parking is sloped with curb cuts to a grass channel that leads to the catch basin. At time of visit, catch basin was covered with leaves. No irrigation observed.
Note: Overall layout and fields are in good condition, but infields require maintenance. Fences around park and for each field are damaged (broken posts, bent chain-link, broken braces, etc). No site lighting observed.	
3. Field Measurements	
First Base	62 Feet
Left Field	117 Feet
Right Field	117 Feet
Solar Orientation	
4. Field Conditions	
What is the overall condition of the turf?	Fair – turf has dense cover but contains a mix of grass and weeds. Some ruts in outfield but no major hazards.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, very minimal areas of ponding water.
What is the condition of field markings and striping?	N/A
What type of fencing is provided around the court? Describe the condition.	Poor - field is surrounded by chain-link fencing in poor condition on first and third base sides. Fencing contains broken posts, bent posts, exposed concrete in dugouts, missing/broken caps over chain-link.
5. Equipment	
What is the condition of the bases and home plate?	Fair - bases are removable and were not present at time of observation. Boxes to hold bases in place are for cracked and in fair condition.
What is the condition of the pitcher’s mound and rubber?	Fair - pitchers’ mound is in fair condition and may need reshaping and filling in around the rubber

What is the condition of the backstop?	Poor - overall fencing is in poor condition. Chain-link fence pulling away from posts and the chain-link is bent. Fencing over home plate appears to have shifted on the third base side.
What is the condition of the scoreboards?	N/A
What is the condition of the dugout (s)?	Good - dugout consists of players benches surrounded by chain-link fencing. Chain-link fencing is in good condition.
What is the condition of the infield skin?	Poor – infield contains heavy vegetation growth.
What is the condition of the foul poles?	Good
What is the condition of the warning track?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	Fair - 6 park benches along first base side and 5 riser wooden bleachers on third base side. Bleachers are painted with no visible cracking or rotting.
What is the condition of the flagpole?	Good
What is the condition of the players' benches?	Good – metal players benches are in good condition.

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA			X	
Site Safety			X	
Equipment		X		
Field Geometry	X			
Field Condition		X		
Lighting		X		
Site Drainage and Irrigation			X	
Average Evaluation Score:				2.29

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Sheldon Field Park\Space 2 - 60' baseball

BASEBALL & SOFTBALL FIELD DATA EVALUATION SHEET

Field Rating	2.86
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Date: December 4, 2023
Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Sheldon Field Park
Field Designation	Space 3: 60-Foot Softball Diamond
Facility Address	26 Old Ferry Road, Northampton, MA 01060
Field Type	Softball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Agricultural field South: Hard court East: Open field and agricultural field West: Soccer field
What is the distance to any environmentally sensitive areas (ie. watersheds)?	The majority of the facility is located within the AE Q3 FEMA flood zone and a small part of the western portion of the facility is located within the X500 Q3 FEMA flood zone.
Notes:	
2. General Site Conditions	
Comments on site accessibility	Good - There is an ADA ramp from the bus stop at Bridge Street down into the park and an asphalt walkway along the edge of

	the park to Old Ferry Road. No walkways to individual fields. Four ADA parking spaces in the main parking area.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Good - Site has two paved parking areas. Both are in good condition with drainage and cracks have been sealed. Both have very faint striping.
What additional buildings are on-site? Describe their condition.	One building in northwest corner is in poor condition (hole in roof, cracks in walls). Space 1 has a shed that is in good condition from outside.
What drainage and irrigation structures are on site? Describe their condition.	Good - Catch basin is north of the main parking area. Parking is sloped with curb cuts to a grass channel that leads to the catch basin. At time of visit, catch basin was covered with leaves. No irrigation observed.
Note: Overall layout and fields are in good condition, but infields require maintenance. Fences around park and for each field are damaged (broken posts, bent chain-link, broken braces, etc). No site lighting observed.	
3. Field Measurements	
First Base	60 Feet
Left Field	200 Feet (to fence for hard court)
Right Field	N/A - no striping at time of site visit and no limitations in right field.
Solar Orientation	
4. Field Conditions	
What is the overall condition of the turf?	Fair- turf cover is full with a mix of grass and minor weeds. Turf is not level in some areas from clumps of vegetation but does not raise major safety concerns.
Are adequate slopes being provided on the field to prevent ponding water?	Fair - some ponded water observed in the infield. Outfield slopes away from infield.
What is the condition of field markings and striping?	N/A
What type of fencing is provided around the court? Describe the condition.	Poor - Field contains fencing along the backstop and players benches near the first and third base sides. Fencing contains leaning posts with the chain-link pulling away from posts.
5. Equipment	
What is the condition of the bases and home plate?	Good - home plate and third base mount are in good condition. First and second bases were not present during observation.
What is the condition of the pitcher's mound and rubber?	Good - surface level is even around pitcher's rubber

What is the condition of the backstop?	Poor - posts are leaning, chainlink bent and pulling away from posts, and wood at bottom is unconnected.
What is the condition of the scoreboards?	N/A
What is the condition of the dugout (s)?	Good - dugouts contain metal players benches surrounded by chain-link fencing.
What is the condition of the infield skin?	Fair - infield contains numerous small clumps of vegetation growth.
What is the condition of the foul poles?	N/A
What is the condition of the warning track?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	Fair - 5 riser wooden bleachers on the third base side. Paint on benches is chipped, but there are signs of cracking or erosion.
What is the condition of the flagpole?	N/A
What is the condition of the players' benches?	Good

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA			X	
Site Safety			X	
Equipment			X	
Field Geometry				X
Field Condition		X		
Lighting		X		
Site Drainage and Irrigation			X	
Average Evaluation Score:				2.86

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Sheldon Field Park\Space 3 - 60' softball

BASEBALL & SOFTBALL FIELD DATA EVALUATION SHEET

Field Rating	2
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Date: December 4, 2023

Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Sheldon Field Park
Field Designation	Space 4: 60-Foot Softball Diamond
Facility Address	26 Old Ferry Road, Northampton, MA 01060
Field Type	Softball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Open field South: Old Ferry Road East: Open field West: Parking area for hard court
What is the distance to any environmentally sensitive areas (ie. watersheds)?	The majority of the facility is located within the AE Q3 FEMA flood zone and a small part of the western portion of the facility is located within the X500 Q3 FEMA flood zone.
Notes:	
2. General Site Conditions	
Comments on site accessibility	There is an ADA ramp from the bus stop at Bridge Street down into the park and an asphalt walkway along the edge of the park

	to Old Ferry Road. No walkways to individual fields. Four ADA parking spaces in the main parking area.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Good - site has two paved parking areas. Both are in good condition with drainage and cracks have been sealed. Both have very faint striping.
What additional buildings are on-site? Describe their condition.	One building in Northwest corner is in poor condition (hole in roof, cracks in walls). Space 1 has a shed appearing in good condition from the outside.
What drainage and irrigation structures are on site? Describe their condition.	Good - catch basin is north of the main parking area. Parking is sloped with curb cuts to a grass channel that leads to the catch basin. At time of visit, catch basin was covered with leaves. No irrigation observed.
Note: Overall layout and fields are in good condition, but infields require maintenance. Fences around park and for each field are damaged (broken posts, bent chain-link, broken braces, etc). No site lighting observed.	
3. Field Measurements	
First Base	58 Feet
Left Field	148 Feet
Right Field	75 Feet to slight berm in grass (end of wooden fence), otherwise no obstruction
Solar Orientation	
4. Field Conditions	
What is the overall condition of the turf?	Fair – turf does not have dense vegetative cover.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, no ponding water was observed.
What is the condition of field markings and striping?	N/A
What type of fencing is provided around the court? Describe the condition.	Fair – fencing provided for backstop and dugouts. Exposed concrete at fence posts are slightly eroded. Cross bars are disconnected from posts, chain-link is bent and pulling away from posts.
5. Equipment	
What is the condition of the bases and home plate?	Fair – home plates and bases are beginning to be covered in vegetation.
What is the condition of the pitcher’s mound and rubber?	Poor – pitchers’ mound and rubber almost fully covered in vegetation

What is the condition of the backstop?	Fair - fencing is bent and concrete for posts are exposed. Fencing posts are beginning to rust.
What is the condition of the scoreboards?	N/A
What is the condition of the dugout (s)?	Fair – dugouts consist of a metal players bench surrounded by chain-link fence. Chain-link fence is bending.
What is the condition of the infield skin?	Poor – infield skin is filled with vegetation.
What is the condition of the foul poles?	N/A
What is the condition of the warning track?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	Fair - 5 riser wooden bleachers on first base side is starting to erode and paint is chipped.
What is the condition of the flagpole?	N/A
What is the condition of the players' benches?	Fair- players benches in dugout near first base bench is angled. Paint on both sets of players' benches is worn.

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA			X	
Site Safety			X	
Equipment		X		
Field Geometry	X			
Field Condition	X			
Lighting	X			
Site Drainage and Irrigation			X	
Average Evaluation Score:				2

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Sheldon Field Park\Space 4 - 60' softball

HARD COURT FIELD DATA EVALUATION SHEET

Court Rating	2.86
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Date: December 4, 2023

Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Sheldon Field Park
Field Designation	Space 5: Hard Court
Project Address	26 Old Ferry Road, Northampton, MA 01060
Court Use	Basketball
Number of Courts	2
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the court?	North: Soccer and softball field South: Old ferry road East: Softball field West: Softball field
What is the distance to any environmentally sensitive areas (ie. watersheds)?	The majority of the facility is located within the AE Q3 FEMA flood zone and a small part of the western portion of the facility is located within the X500 Q3 FEMA flood zone.
Notes:	
2. General Site Conditions	
Comments on site accessibility	There is an ADA ramp from the bus stop at Bridge Street down into the park and an asphalt walkway along the edge of the park to Old Ferry Road. No walkways to individual fields. Four ADA parking spaces in the main parking area.

Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Good - site has two paved parking areas. Both are in good condition with drainage and cracks have been sealed. Both have very faint striping.
What additional buildings are on-site? Describe their condition.	One building in Northwest corner is in poor condition (hole in roof, cracks in walls). Space 1 has a shed appearing in good condition from the outside.
What drainage and irrigation structures are on site? Describe their condition.	Good - catch basin is north of the main parking area. Parking is sloped with curb cuts to a grass channel that leads to the catch basin. At time of visit, catch basin was covered with leaves. No irrigation observed.
Note: Overall layout and fields are in good condition, but infields require maintenance. Fences around park and for each field are damaged (broken posts, bent chain-link, broken braces, etc). No site lighting observed.	
3. Field Measurements	
Total Court Length	78 Feet
Total Court Width	90 Feet
Individual Court Length	Not striped
Individual Court Width	Not striped
Solar Orientation	
4. Court Conditions	
What is the age of the court(s)?	
What type of construction material was used (ie. asphalt, clay, etc)?	Asphalt
What type of surface is the court(s)?	Asphalt
What is the overall condition of the court pavement?	Fair – court pavement some cracking (about 1") along north-south run. Cracks and dips within the asphalt pavement has caused some areas of ponding water.
What type of fencing is provided around the court? Describe the condition.	Fair – court contains chain-link fencing on the east and south sides and wooden fencing on the north and west sides. Post between the parking area and hard court is bent. Portions of the wooden fence have broken sections.
5. Equipment	
What is the condition of the scoreboards?	N/A

What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	N/A
What is the condition of the nets?	Nets and hoops are in good condition. Backboards have some markings on them but are in fair condition
What is the condition of player benches?	N/A
What is the condition of flag poles?	N/A

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA			X	
Site Safety			X	
Equipment			X	
Court Geometry				X
Court Condition			X	
Lighting		X		
Site Drainage and Irrigation		X		
Average Evaluation Score:				2.86

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Sheldon Field Park\Space 5 - hard court

MULTI-PURPOSE RECTANGULAR FIELD EVALUATION SHEET

Field Rating	2.17
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Date: December 4, 2023
Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Sheldon Field Park
Field Designation	Space 7: Multi-Purpose Rectangular Field
Facility Address	26 Old Ferry Road, Northampton, MA 01060
Sports Played on Field	Soccer (three small fields)
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Agricultural field South: Softball field East: Softball field West: Baseball field
What is the distance to any environmentally sensitive areas (ie. watersheds)?	The majority of the facility is located within the AE Q3 FEMA flood zone and a small part of the western portion of the facility is located within the X500 Q3 FEMA flood zone.
Notes:	
2. General Site Conditions	
Comments on site accessibility	There is an ADA ramp from the bus stop at Bridge Street down into the park and an asphalt walkway along the edge of the park

	to Old Ferry Road. No walkways to individual fields. Four ADA parking spaces in the main parking area.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Good - site has two paved parking areas. Both are in good condition with drainage and cracks have been sealed. Both have very faint striping.
What additional buildings are on-site? Describe their condition.	One building in Northwest corner in poor condition (hole in roof, cracks in walls). Space 1 has a shed appearing in good condition from outside.
What drainage and irrigation structures are on site? Describe their condition.	Good - catch basin is north of the main parking area. Parking is sloped with curb cuts to a grass channel that leads to the catch basin. At time of visit, catch basin was covered with leaves. No irrigation observed.
Note: Overall layout and fields are in good condition, but infields require maintenance. Fences around park and for each field are damaged (broken posts, bent chain-link, broken braces, etc). No site lighting observed.	
3. Field Measurements	
Length	Two fields - 60 feet long and 80 feet long
Width	40 feet
Runout	24 feet between fields
Solar Orientation	
4. Field Conditions	
What is the overall condition of the turf?	Poor- turf has thin coverage and large clumps of vegetation. Vegetation is making playing surface uneven.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, no ponding water was observed.
What is the condition of field markings and striping?	Poor – field contained rectangular outline.
What is the condition of the fencing around the field?	N/A
5. Equipment	
What is the condition of the goal posts?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of the press box?	N/A
What is the condition of spectator seating?	N/A

What is the condition of the flagpole?	N/A
What is the condition of the players' benches?	N/A
What is the condition of the scoreboard?	

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA			X	
Site Safety			X	
Equipment	N/A	N/A	N/A	N/A
Field Geometry	X			
Field Condition	X			
Lighting		X		
Site Drainage and Irrigation			X	
Average Evaluation Score:				2.17

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Sheldon Field Park\Space 8 - Soccer

MULTI-PURPOSE RECTANGULAR FIELD EVALUATION SHEET

Field Rating	2.67
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Date: December 4, 2023
Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Sheldon Field Park
Field Designation	Space 8: Multipurpose Rectangular Field
Facility Address	26 Old Ferry Road, Northampton, MA 01060
Sports Played on Field	Soccer
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Agricultural field South: Hard courts East: Softball field West: MPR field
What is the distance to any environmentally sensitive areas (ie. watersheds)?	The majority of the facility is located within the AE Q3 FEMA flood zone and a small part of the western portion of the facility is located within the X500 Q3 FEMA flood zone.
Notes:	
2. General Site Conditions	
Comments on site accessibility	There is an ADA ramp from the bus stop at Bridge Street down into the park and an asphalt walkway along the edge of the park

	to Old Ferry Road. No walkways to individual fields. Four ADA parking spaces in the main parking area.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Good - site has two paved parking areas. Both are in good condition with drainage and cracks have been sealed. Both have very faint striping.
What additional buildings are on-site? Describe their condition.	One building in Northwest corner is in poor condition (hole in roof, cracks in walls). Space 1 has a shed appearing in good condition from the outside.
What drainage and irrigation structures are on site? Describe their condition.	Good - catch basin is north of the main parking area. Parking is sloped with curb cuts to a grass channel that leads to the catch basin. At time of visit, catch basin was covered with leaves. No irrigation observed.
Note: Overall layout and fields are in good condition, but infields require maintenance. Fences around park and for each field are damaged (broken posts, bent chain-link, broken braces, etc). No site lighting observed.	
3. Field Measurements	
Length	3 fields - 80' long (80' total)
Width	3 fields - 40' wide (168' total)
Runout	24' between fields
Solar Orientation	
4. Field Conditions	
What is the overall condition of the turf?	Good – turf is dense with even grass cover.
Are adequate slopes being provided on the field to prevent ponding water?	Yes, no ponding water was observed.
What is the condition of field markings and striping?	Poor – field contained a rectangular outline with faint striping.
What is the condition of the fencing around the field?	N/A
5. Equipment	
What is the condition of the goal posts?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of the press box?	N/A
What is the condition of spectator seating?	N/A
What is the condition of the flagpole?	N/A

What is the condition of the players' benches?	N/A
What is the condition of the scoreboard?	N/A

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA			X	
Site Safety			X	
Equipment	N/A	N/A	N/A	N/A
Field Geometry		X		
Field Condition			X	
Lighting		X		
Site Drainage and Irrigation			X	
Average Evaluation Score:				2.67

Photo Documentation Location:

BASEBALL & SOFTBALL FIELD DATA EVALUATION SHEET

Field Rating	1.43
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Date: December 4, 2023

Observer: TaraWalsh

BASIC FACILITY INFORMATION	
Facility Name	Veterans' Fields
Field Designation	Space 4: 90-Foot Baseball Diamond
Facility Address	88 West Street, Northampton, MA 01060
Field Type	Baseball
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the field?	North: Woods and residential South: Woods and residential East: Woods and residential West: Field and skatepark
What is the distance to any environmentally sensitive areas (ie. watersheds)?	N/A
Notes: Bike path crosses driveway into the park with a crosswalk.	
2. General Site Conditions	
Comments on site accessibility	Fair - Narrow driveway entrance. Paved walking path to park entrance contains crosswalk and ductile warning strips but becomes steep. Paved walking path from parking to playground

	and skate park is in good condition. No path to baseball field and hard courts.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Poor – gravel parking lot contains large potholes, large areas of ponding water, pavement weathering, and no striping.
What additional buildings are on-site? Describe their condition.	Poor – Building has a hole in the roofs and contains graffiti.
What drainage and irrigation structures are on site? Describe their condition.	Poor – site contains two catch basins, one in driveway by building and one in grass near skatepark. Site has drainage manhole along foul line for the baseball field. Parking lot contains large areas of ponding water.
3. Field Measurements	
First Base	87 feet
Left Field	150 feet (to foul pole)
Right Field	150 feet (to foul pole)
Solar Orientation	
4. Field Conditions	
What is the overall condition of the turf?	Fair– outfield turf has dense cover and a leveled surface in outfield. Infield contains areas of thin cover.
Are adequate slopes being provided on the field to prevent ponding water?	Poor - field contains ponding water around home plate and along the third base line and into right field. Field has a drainage manhole located along the foul line in the right field.
What is the condition of field markings and striping?	N/A
What type of fencing is provided around the court? Describe the condition.	Good – field contains chain-link fencing along backstop and dugout areas.
5. Equipment	
What is the condition of the bases and home plate?	Poor – bases and home plate are overgrown with vegetation.
What is the condition of the pitcher’s mound and rubber?	Poor – pitchers’ mound and rubber is overgrown with vegetation.
What is the condition of the backstop?	Good – backstop chain-link fencing and posts are in good condition.
What is the condition of the scoreboards?	N/A

What is the condition of the dugout (s)?	Good – dugouts contain a metal players’ bench surrounded by chain-link fencing.
What is the condition of the infield skin?	Poor – infield is overgrown with vegetation.
What is the condition of the foul poles?	Good
What is the condition of the warning track?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	N/A
What is the condition of the flagpole?	No flag poles
What is the condition of the players’ benches?	Fair – metal players’ benches spots with algae growth and paint decay.

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA	X			
Site Safety	X			
Equipment		X		
Field Geometry	X			
Field Condition		X		
Lighting		X		
Site Drainage and Irrigation	X			
Average Evaluation Score:				1.43

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Veteran's Field Park\Space 4 - baseball

HARD COURT FIELD DATA EVALUATION SHEET

Court Rating	1.57
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Date: December 4, 2023

Observer: Tara Walsh

BASIC FACILITY INFORMATION	
Facility Name	Veterans' Fields
Field Designation	Space 3: Hard Court
Project Address	88 West Street, Northampton, MA 01060
Court Use	Basketball
Number of Courts	1 full court, 2 half courts
Facility Manager/Director	
Interview Comments/Highlights	

Site Observations	
1. Site Location	
What abutters are surrounding the court?	North: Parking area and bike path South: Baseball field East: Woods to residential West: Parking area
What is the distance to any environmentally sensitive areas (ie. watersheds)?	N/A
Notes: Bike path crosses access driveway into the park with a crosswalk.	

2. General Site Conditions	
Comments on site accessibility	Fair - Narrow driveway entrance. Paved walking path to park entrance contains crosswalk and ductile warning strips but becomes steep. Paved walking path from parking to playground and skate park is in good condition. No path to baseball field and hard courts.
Is the layout of the site safe for users?	Yes
What parking is being provided on site? Describe its condition.	Poor – gravel parking lot contains large potholes, large areas of ponding water, pavement weathering, and no striping.
What additional buildings are on-site? Describe their condition.	Poor – Building has a hole in the roofs and contains graffiti.
What drainage and irrigation structures are on site? Describe their condition.	Poor – site contains two catch basins, one in driveway by building and one in grass near skatepark. Site has drainage manhole along foul line for the baseball field. Parking lot contains large areas of ponding water.
3. Field Measurements	
Total Court Length	105 feet
Total Court Width	87 feet
Individual Court Length	Full court length = 94 feet, half court length = 35 feet
Individual Court Width	Full court width = 47 feet, half court width = 47 feet
Solar Orientation	
4. Court Conditions	
What is the age of the court(s)?	
What type of construction material was used (ie. asphalt, clay, etc)?	Asphalt
What type of surface is the court(s)?	Asphalt
What is the overall condition of the court pavement?	Poor - surface has been repaired with sawcut sections. These sections have settled and created a safety hazard for uneven surfaces.
What type of fencing is provided around the court? Describe the condition.	N/A

5. Equipment	
What is the condition of the scoreboards?	N/A
What is the condition of the P.A. system?	N/A
What is the condition of spectator seating?	N/A
What is the condition of the nets?	Good – nets, hoops, and backboards are in good condition.
What is the condition of player benches?	N/A
What is the condition of flag poles?	Fair – flag posts is in a large area of ponding water.

General Facility Evaluation				
	Poor (1)	Fair (2)	Good (3)	Excellent (4)
Site ADA	X			
Site Safety	X			
Equipment		X		
Court Geometry			X	
Court Condition	X			
Lighting		X		
Site Drainage and Irrigation	X			
Average Evaluation Score:				1.57

Photo Documentation Location: J:\N\N0936 Northampton DPW\061 - Recreation Fields Facility Maintenance Assessment\Photos\Field Visits - TCW\Veteran's Field Park\space 3 - hard court

Tighe&Bond

**APPENDIX C
ATTACHMENT 2**

Agnes Fox Playground

253 State Street, Northampton, MA



Photo 1: Property ID Sign



Photo 2: Primary Play Structure



Photo 3: Tot Swing



Photo 4: Exposed Post Foundation



Photo 5: Swing



Photo 6: Roller/Climber

- The primary play structure is in good condition, fall zones appear to be adequate.
- The 2-bay tot swing apparatus is in poor condition with an exposed foundation that creates a potential hazard.
- The four swings are in fair condition. The apparatus is old and shows signs of degradation.
- The roller/climber is in good condition
- The wood fiber surface is very wet, indicating poor drainage. This condition leads to shorter than optimal life of the wood fiber, unevenness of the surface and potential subsidence of the resilient surface due to rotting of the wood fiber.

Arcanum Field
220 Bridge Road



Photo 1: View of Field ID Sign



Photo 2: Overall View of Play Area



Photo 3: Monkey Bars



Photo 4: View of Primary Play Structure

- Modern play structure is in good condition
- Fall zone protection appears to be adequate.
- 2 – tot swings and 2-standard swings. One standard swing is missing,

Florence Recreation Fields

127 Spring Street



Photo 1: 3-5 Year Old Play Structure



Photo 2: 3-5 Year Old Play Structure



Photo 3: 3-5 Year Old Play Structure



Photo 4: 6-12 Year Old Play Structure



Photo 5: 6-12 Year Old Play Structure



Photo 6: 6-12 Year Old Play Structure



Photo 7: Site Sign

- Modern play structures for 3-5 year olds and 6 to 12 year olds
- It appears that the implementation of play areas has been phased, with a fairly large “blank” area between the two structures. Fall zones appear to be adequate
- Several benches have been provided for parents



Lampron Park

110 Bridge Street, Northampton, MA



Photo 1: Swing Sets



Photo 2: Rocker/group Teeter-totter

- Modern Swings - 2 tot swings, 6 regular swings. Swings appear to be in good condition
- Fall zones appear to be adequate
- Modern Rocker/group Teeter Totter appears to be in good condition
- Park & play areas are immediately adjacent to Bridge Street School play facilities

Maines Field

570 Riverside Drive, Northampton, MA



Photo 1: Site Sign



Photo 2: Rocker/Spring Toy





Photo 3: Climber



Photo 4: Climber



Photo 5: View of Play Area



Photo 6: Swings



Photo 7: Equipment Storage



Photo 8: Bocce and Horseshoes area

- Two climbing apparatus without any fall protection
- Play Area with 2 small spring toys, 1 rocker, 2 tot swings and 2 regular swings. All equipment in the play area appears to be in good condition.
- Fall zones appear to be adequate.
- Some weathering on the rocker apparatus.



Sheldon Field

26 Old Ferry Road, Northampton, MA



Photo 1: Slide



Photo 2: Slide



Photo 3: Swings

- Two apparatus without fall protection
- Exposed metal fasteners are a further hazard
- Metal Slide faces south and poses a hazard due to heat of the surface

Veteran's Field

88 West Street, Northampton, MA



Photo 3: Panorama of Skate Park Bowl



Photo 1: Play Structure



Photo 2: Vandalism Damage



Photo 3: Site sign

- Modern Play structure appears to have adequate fall zone protection
- Structure has some damage from vandalism
- Skate park and features appear to be in good condition



Pulaski Park

240 Main Street, Northampton, MA



Photo 1: Play area



Photo 2: Log climbing structure



Photo 3: Log steppers and spin/climber



Photo 4: Site sign

- Attractive downtown park with a custom play area. Equipment is in good condition
- Log climbing structure and spinner/climber appear to have adequate fall zone protection
- Ample seating provided for parents



Tighe&Bond

**APPENDIX C
ATTACHMENT 3**

Facility:	Arcanum Field	Inspection Date:	12/27/2023
Address:	220 Bridge Road, Northampton, MA 01062	Inspected By:	Yvonne D'Errico
Process Area:	_____	Construction Date:	_____

STRUCTURAL / ARCHITECTURAL INSPECTION

Building Dimensions:

Exterior _____
 Interior _____
 Dimensions L: _____ W: _____ H: _____
 See Plans for Dimensions X

Comments: SEE PLAN SKETCH AT THE END OF THIS REPORT FOR BUILDING FOOTPRINT DIMENSIONS

BUILDING STRUCTURE

Roofing Type:

Overall Condition:

Membrane	_____	Like New	_____
Shingle	X	Good	_____
Tar and Gravel	_____	Fair	X
Other	_____	Poor	_____

Comments:

Roof Structure:

Overall Condition:

Precast Plank	_____	Like New	_____
Steel-framed	_____	Good	X
Cast-in-Place Concrete	X	Fair	_____
Wood	_____	Poor	_____
Other	_____		
Unknown	_____		

Comments:

Exterior Wall Type:

Overall Condition:

Single Wythe Masonry	_____	Like New	_____
Double Wythe Masonry	_____	Good	X
Reinforced Concrete	_____	Fair	_____
Precast Concrete	_____	Poor	_____
Wood Frame	X	Load Bearing (Y/N): Y	
Other	_____		

Comments: EXTERIOR SIDING MATERIAL IS IN POOR CONDITION WITH VISIBLE DAMAGE SUCH AS DENTS AND DELAMINATION. BLISTERING PEELING PAINT A WINDOW SILLS.

Foundation:		Overall Condition:	
Stone Masonry	_____	Like New	_____
Reinforced Concrete	X _____	Good	X _____
Cement Masonry Units	_____	Fair	_____
Other	_____	Poor	_____
Comments:			
Interior Wall Type:		Overall Condition:	
Gypsum/Stud Walls	X _____	Like New	_____
Masonry	_____	Good	_____
Reinforced Concrete	_____	Fair	_____
Other: PLYWOOD	X _____	Poor	X _____
Not Applicable	_____	Load Bearing (Y/N):	_____
Interior Wall Coverings/Coatings:		Overall Condition:	
Paint	X _____	Like New	_____
Wallpaper	_____	Good	_____
Other	_____	Fair	_____
		Poor	X _____
Comments: BLISTERING/ PEELING PAINT IS VISIBLE, AREAS OF WALLBOARD ARE MISSING SHOWING EXPOSED FRAMING			
Floor:		Overall Condition:	
Reinforced Concrete	X _____	Like New	_____
Concrete on Metal Deck	_____	Good	_____
Wood: (AT ATTIC)	X _____	Fair	X _____
Other	_____	Poor	_____
Floor Covering/Coating:		Overall Condition:	
Paint	X _____	Like New	_____
Tile	_____	Good	_____
Cheml-Resistant Coating	_____	Fair	_____
Other	_____	Poor	X _____
Not Applicable	_____		
Comments:			
Ceiling Covering/Coating:		Overall Condition:	
Paint	X _____	Like New	_____
Other	_____	Good	_____
		Fair	_____
		Poor	X _____
Comments:			

Interior Columns: N/A		Overall Condition:	
	Reinforced Concrete	_____	Like New _____
	Steel	_____	Good _____
	Wood	_____	Fair _____
	Other	_____	Poor _____
	Not Applicable	_____	
Comments:			
Bldg Structural Frame:		Overall Condition:	
	Reinforced Concrete	_____	Like New _____
	Steel	_____	Good _____
	Other	WD _____	Fair _____
			Poor _____
		Braced (Yes/No): _____	
Comments:			
Doors:		Overall Condition:	
	Hollow Metal	X _____	Like New _____
	Wood	_____	Good _____
	Other	_____	Fair _____
	N/A	_____	Poor _____
Size:	_____		
Comments:			
Windows:		Overall Condition:	
Type:	WOOD _____		Like New _____
Size:	N/A _____		Good _____
			Fair _____
			Poor _____
Comments: NOT ALL WINDOWS WERE ABLE TO BE OBSERVED			
Stairs:		Overall Condition:	
Rise:	WOOD _____		Like New _____
Run:	WOOD _____		Good _____
			Fair _____
			Poor _____
Comments: THE WOODEN TREADS SHOW SIGNS OF DAMAGE AND EXCESSIVE WEAR			

Guardrail/Handrail: N/A **Overall Condition:**

Type: Aluminum: ___ Steel: ___ Other: ___ Like New ___

Height: _____ Good ___

Post Spacing: _____ Fair ___

Poor ___

Comments: A HANDRAIL NOT PROVIDED FOR THE WOODEN STAIR. THIS DOES NOT COMPLY WITH BUILDING CODE REGULATIONS

Grating: N/A **Overall Condition:**

Type: Aluminum: ___ Steel: ___ Other: ___ Like New ___

Welded: ___ Riveted: ___ Good ___

Bearing Height: ___ Thickness: ___ Spacing: ___ Fair ___

Bar: _____ Poor ___

Comments:

Below Grade Vault: N/A

Precast Concrete _____

Cast-In-Place Concrete _____

Other _____

Interior Dimensions L: _____ W: _____ H: _____

Hatch Type: _____

Sump Pit: _____

Comments:

Access Hatch: N/A

Type: _____ Material: _____

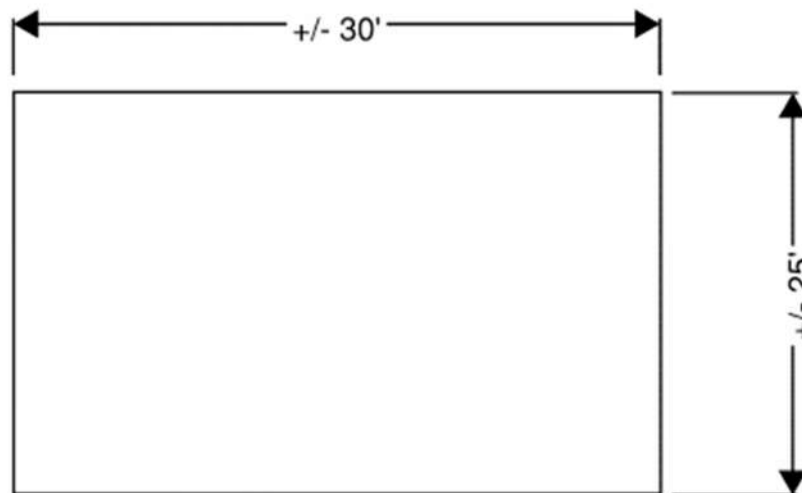
Size: _____

Comments:

Plumbing Fixtures:		Overall Condition:
Sinks	4	Like New _____
Toilets	4	Good _____
Showers	--	Fair <u> X </u>
Drinking Fountains	--	Poor _____
Other: URINAL	1	
Comments:		

ACTION ITEMS/NOTES:

THE BUILDING CONTAINS A CONCESSION STAND WITH A SINK, REFRIGERATOR AND COUNTER SPACE, STORAGE SPACE, AND THREE BATHROOMS. THE DOOR SADDLES AT THE ENTRIES DO NOT MEET 521 CMR NOR ADA 2010, NOR DO THE CONCESSION OPENING HEIGHTS, CABINETS, ETC.

Sketches:

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J:\02\Structural\CIPs\Facility Evaluation Form - Structural.docx

Facility:	Florence Recreational Fields	Inspection Date:	12/27/2023
Address:	157 Spring Street, Florence, MA 01062	Inspected By:	Yvonne D'Errico
Process Area:	_____	Construction Date:	_____

STRUCTURAL / ARCHITECTURAL INSPECTION

Building Dimensions:

Exterior _____
 Interior _____
 Dimensions L: _____ W: _____ H: _____
 See Plans for Dimensions X

Comments: SEE PLAN SKETCH AT THE END OF THIS REPORT FOR BUILDING FOOTPRINT DIMENSIONS

BUILDING STRUCTURE

Roofing Type:

Overall Condition:

Membrane	_____	Like New	X
Shingle	_____	Good	_____
Tar and Gravel	_____	Fair	_____
Other	X	Poor	_____

Comments: STANDING SEAM METAL

Roof Structure:

Overall Condition:

Precast Plank	_____	Like New	X
Steel-framed	_____	Good	_____
Cast-in-Place Concrete	_____	Fair	_____
Wood	X	Poor	_____
Other	_____		
Unknown	_____		

Comments:

Exterior Wall Type:

Overall Condition:

Single Wythe Masonry	_____	Like New	X
Double Wythe Masonry	_____	Good	_____
Reinforced Concrete	_____	Fair	_____
Precast Concrete	_____	Poor	_____
Wood Frame	X	Load Bearing (Y/N):Y	
Other	_____		

Comments:

Foundation:		Overall Condition:	
Stone Masonry	_____	Like New	X _____
Reinforced Concrete	X _____	Good	_____
Cement Masonry Units	_____	Fair	_____
Other	_____	Poor	_____
Comments:			
Interior Wall Type:		Overall Condition:	
Gypsum/Stud Walls	_____	Like New	X _____
Masonry	_____	Good	_____
Reinforced Concrete	_____	Fair	_____
Other	WD _____	Poor	_____
Not Applicable	_____	Load Bearing (Y/N):	N/A _____
Interior Wall Coverings/Coatings:		Overall Condition:	
Paint	_____	Like New	X _____
Wallpaper	_____	Good	_____
Other	X _____	Fair	_____
Comments: WOOD WITH CLEAR COATING			
Floor:		Overall Condition:	
Reinforced Concrete	X _____	Like New	_____
Concrete on Metal Deck	_____	Good	X _____
Wood	_____	Fair	_____
Other	_____	Poor	_____
Floor Covering/Coating:		Overall Condition:	
Paint	_____	Like New	_____
Tile	_____	Good	_____
Cheml-Resistant Coating	_____	Fair	_____
Other	_____	Poor	_____
Not Applicable	X _____		
Comments: SOME MINOR CRACKED AREAS			
Ceiling Covering/Coating:		Overall Condition:	
Paint	_____	Like New	X _____
Other	N/A _____	Good	_____
Comments: EXPOSED TO UNDERSIDE OF ROOF STRUCTURE			

Interior Columns:		Overall Condition:		
	Reinforced Concrete	_____	Like New	<u> X </u>
	Steel	_____	Good	_____
	Wood	<u> X </u>	Fair	_____
	Other	_____	Poor	_____
	Not Applicable	_____		
Comments: _____				
Bldg Structural Frame:		Overall Condition:		
	Reinforced Concrete	_____	Like New	<u> X </u>
	Steel	_____	Good	_____
	Other	<u> WD </u>	Fair	_____
			Poor	_____
			Braced (Yes/No):	_____
Comments: _____				
Doors:		Overall Condition:		
	Hollow Metal	<u> X </u>	Like New	<u> X </u>
	Wood	_____	Good	_____
	Other	_____	Fair	_____
Size:	N/A	_____	Poor	_____
Comments: _____				
Windows:		Overall Condition:		
Type:	<u> ALUMINUM </u>		Like New	<u> X </u>
Size:	<u> N/A </u>		Good	_____
			Fair	_____
			Poor	_____
Comments: _____				
Stairs: N/A		Overall Condition:		
Rise:	_____		Like New	_____
Run:	_____		Good	_____
			Fair	_____
			Poor	_____
Comments: _____				

Guardrail/Handrail: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Height: _____		Good	_____
Post Spacing: _____		Fair	_____
		Poor	_____
Comments: _____			

Grating: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Welded: _____ Riveted: _____		Good	_____
Bearing Bar: _____ Height: _____ Thickness: _____ Spacing: _____		Fair	_____
		Poor	_____
Comments: _____			

Below Grade Vault: N/A			
Precast Concrete	_____		
Cast-In-Place Concrete	_____		
Other	_____		
Interior Dimensions	L: _____	W: _____	H: _____
Hatch Type:	_____		
Sump Pit:	_____		
Comments: _____			

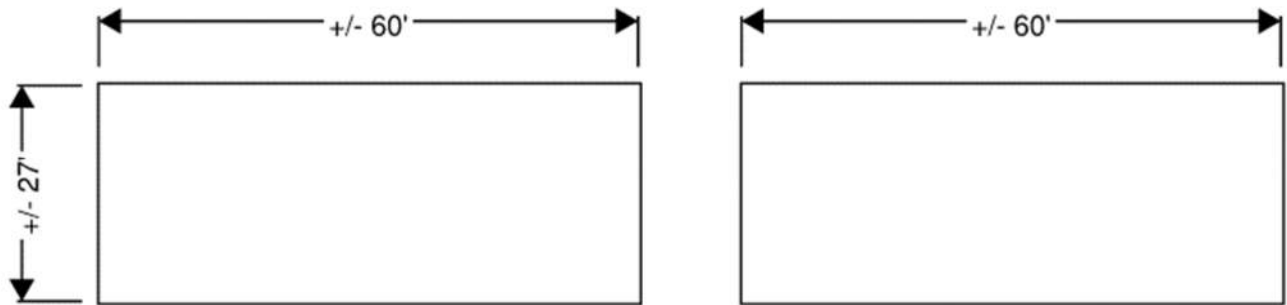
Access Hatch: N/A	
Type: _____	Material: _____
Size: _____	
Comments: _____	

Plumbing Fixtures:		Overall Condition:	
Sinks	4	Like New	1
Toilets	4	Good	_____
Showers	--	Fair	_____
Drinking Fountains	1	Poor	_____
Other: WATER BOTTLE FILLER	1		
Comments: DRINKING FOUNTAIN IN DISREPAIR			

ACTION ITEMS/NOTES:

THE FACILITY CONSISTS OF TWO BUILDINGS OF SIMILAR SIZE AND DESIGN, WITH THE INTERIOR USES OF STORAGE SPACES, BATHROOMS, AND A COVERED OPEN AREA. THREE BATHROOMS ARE PROVIDED, WITH ONE UNISEX SERVING AS THE ACCESSIBLE BATHROOM. NO OBVIOUS ISSUES OBSERVED IN REGARD TO COMPLIANCE WITH 521 CMR AND ADA 2010.

Sketches:



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J:\02\Structural\CIPs\Facility Evaluation Form - Structural.docx

Facility:	Maines Field – Bathrooms/ Elec Rm	Inspection Date:	12/27/2023
Address:	570 Riverside Drive, Florence, MA 01062	Inspected By:	Yvonne D’Errico
Process Area:	_____	Construction Date:	_____

STRUCTURAL / ARCHITECTURAL INSPECTION

Building Dimensions:

Exterior _____
 Interior _____
 Dimensions L: _____ W: _____ H: _____
 See Plans for Dimensions X

Comments: SEE PLAN SKETCH AT THE END OF THIS REPORT FOR BUILDING FOOTPRINT DIMENSIONS

BUILDING STRUCTURE

Roofing Type:

Overall Condition:

Membrane	_____	Like New	_____
Shingle	X	Good	_____
Tar and Gravel	_____	Fair	X
Other	_____	Poor	_____

Comments: ROOFING HAS DELAMINATING/ DETERIORATING SHINGLES

Roof Structure:

Overall Condition:

Precast Plank	_____	Like New	_____
Steel-framed	_____	Good	_____
Cast-in-Place Concrete	_____	Fair	X
Wood	X	Poor	_____
Other	_____		
Unknown	_____		

Comments:

Exterior Wall Type:

Overall Condition:

Single Wythe Masonry (CMU)	X	Like New	_____
Double Wythe Masonry	_____	Good	X
Reinforced Concrete	_____	Fair	_____
Precast Concrete	_____	Poor	_____
Wood Frame	_____	Load Bearing (Y/N): N/A	
Other	_____		

Comments: PAINTED ON THE EXTERIOR

Foundation:		Overall Condition:	
Stone Masonry	_____	Like New	_____
Reinforced Concrete	X	Good	_____
Cement Masonry Units	_____	Fair	X
Other	_____	Poor	_____
Comments:			
Interior Wall Type:		Overall Condition:	
Gypsum/Stud Walls	_____	Like New	_____
Masonry (CMU)	X	Good	_____
Reinforced Concrete	_____	Fair	X
Other	_____	Poor	_____
Not Applicable	_____	Load Bearing (Y/N):	_____
Interior Wall Coverings/Coatings:		Overall Condition:	
Paint	X	Like New	_____
Wallpaper	_____	Good	X
Other	_____	Fair	_____
Comments: PEELING PAINT IS VISIBLE			
Floor:		Overall Condition:	
Reinforced Concrete	X	Like New	_____
Concrete on Metal Deck	_____	Good	_____
Wood	_____	Fair	_____
Other	_____	Poor	X
Floor Covering/Coating:		Overall Condition:	
Paint	X	Like New	_____
Tile	_____	Good	_____
Cheml-Resistant Coating	_____	Fair	_____
Other	_____	Poor	X
Not Applicable	_____		
Comments: SHOWS SIGNS OF DETERIORATION			
Ceiling Covering/Coating: N/A		Overall Condition:	
Paint	_____	Like New	_____
Other	_____	Good	_____
Comments: EXPOSED TO ROOF STRUCTURE ABOVE			

Interior Columns: N/A		Overall Condition:	
	Reinforced Concrete	_____	Like New _____
	Steel	_____	Good _____
	Wood	_____	Fair _____
	Other	_____	Poor _____
	Not Applicable	_____	
Comments:			
Bldg Structural Frame:		Overall Condition:	
	Reinforced Concrete	_____	Like New _____
	Steel	_____	Good _____
	Other (CMU)	<u> X </u>	Fair <u> X </u>
			Poor _____
		Braced (Yes/No):	_____
Comments:			
Doors:		Overall Condition:	
	Hollow Metal	<u> X </u>	Like New _____
	Wood	_____	Good _____
	Other	_____	Fair _____
			Poor <u> X </u>
Size: _____			
Comments: DOORS SHOW SIGNS OF RUST/ DAMAGE			
Windows: N/A		Overall Condition:	
Type:	_____		Like New _____
Size:	_____		Good _____
			Fair _____
			Poor _____
Comments:			
Stairs: N/A		Overall Condition:	
Rise:	_____		Like New _____
Run:	_____		Good _____
			Fair _____
			Poor _____
Comments:			

Guardrail/Handrail: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Height: _____		Good	_____
Post Spacing: _____		Fair	_____
		Poor	_____
Comments: _____			

Grating: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Welded: _____ Riveted: _____		Good	_____
Bearing Bar: _____ Height: _____ Thickness: _____ Spacing: _____		Fair	_____
		Poor	_____
Comments: _____			

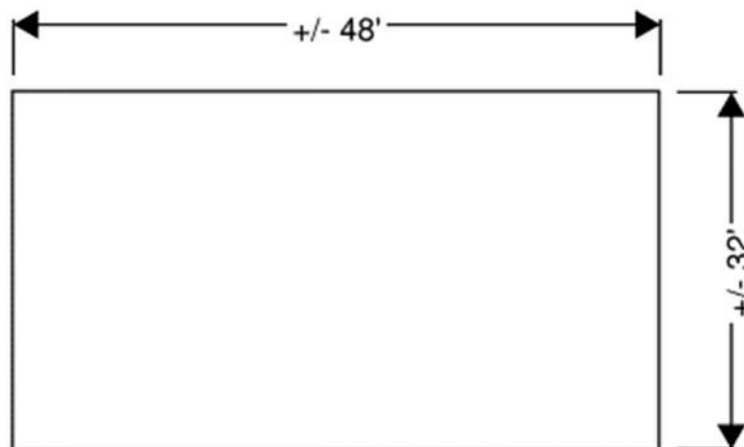
Below Grade Vault: N/A			
Precast Concrete	_____		
Cast-In-Place Concrete	_____		
Other	_____		
Interior Dimensions	L: _____	W: _____	H: _____
Hatch Type:	_____		
Sump Pit:	_____		
Comments: _____			

Access Hatch: N/A	
Type: _____	Material: _____
Size: _____	
Comments: _____	

Plumbing Fixtures:		Overall Condition:	
Sinks	2	Like New	_____
Toilets	2	Good	_____
Showers	--	Fair	X
Drinking Fountains	--	Poor	_____
Other: URINAL	1		
Comments: _____			

ACTION ITEMS/NOTES:

THE USES IN BUILDING CONSIST OF TWO BATHROOMS AND AN ELECTRICAL ROOM. NOTE THAT THE ELECTRICAL ROOM HAS HAD FLOODING WITHIN IT. THE BATHROOMS DO NOT MEET 521 CMR NOR ADA 2010. THE STRUCTURE WAS FLOODED TWICE IN 2023 AND IS IN VERY POOR CONDITION.

Sketches:

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J:\02\Structural\CIPs\Facility Evaluation Form - Structural.docx

Facility:	_____	Inspection Date:	12/27/2023
Address:	570 Riverside Drive, Florence, MA 01062	Inspected By:	Yvonne D'Errico
Process Area:	_____	Construction Date:	_____

STRUCTURAL / ARCHITECTURAL INSPECTION

Building Dimensions:

Exterior _____

Interior _____

Dimensions L: _____ W: _____ H: _____

See Plans for Dimensions X

Comments: SEE PLAN SKETCH AT THE END OF THIS REPORT FOR BUILDING FOOTPRINT DIMENSIONS

BUILDING STRUCTURE

Roofing Type:

Overall Condition:

Membrane	_____	Like New	_____
Shingle	_____	Good	_____
Tar and Gravel	_____	Fair	X
Other: METAL	X	Poor	_____

Comments: THE METAL ROOFING ITSELF IS IN FAIR CONDITION, HOWEVER THERE IS VISIBLE BOWING IN THE ROOF STRUCTURE ITSELF

Roof Structure:

Overall Condition:

Precast Plank	_____	Like New	_____
Steel-framed	_____	Good	X
Cast-in-Place Concrete	_____	Fair	_____
Wood	X	Poor	_____
Other	_____		
Unknown	_____		

Comments: HAS VISIBLE BOWING

Exterior Wall Type: N/A

Overall Condition:

Single Wythe Masonry (CMU)	_____	Like New	_____
Double Wythe Masonry	_____	Good	_____
Reinforced Concrete	_____	Fair	_____
Precast Concrete	_____	Poor	_____
Wood Frame	_____	Load Bearing (Y/N): N/A	
Other	_____		

Comments: OPEN PAVILION - NO WALLS

Foundation:		Overall Condition:	
Stone Masonry	_____	Like New	_____
Reinforced Concrete	X _____	Good	_____
Cement Masonry Units	_____	Fair	X _____
Other	_____	Poor	_____
Comments:			
Interior Wall Type: N/A		Overall Condition:	
Gypsum/Stud Walls	_____	Like New	_____
Masonry (CMU)	_____	Good	_____
Reinforced Concrete	_____	Fair	_____
Other	_____	Poor	_____
Not Applicable	_____	Load Bearing (Y/N):	_____
Interior Wall Coverings/Coatings: N/A		Overall Condition:	
Paint	_____	Like New	_____
Wallpaper	_____	Good	_____
Other	_____	Fair	_____
Comments:			
Floor:		Overall Condition:	
Reinforced Concrete	X _____	Like New	_____
Concrete on Metal Deck	_____	Good	_____
Wood	_____	Fair	X _____
Other	_____	Poor	_____
Floor Covering/Coating:		Overall Condition:	
Paint	_____	Like New	_____
Tile	_____	Good	_____
Cheml-Resistant Coating	_____	Fair	_____
Other	_____	Poor	_____
Not Applicable	X _____		
Comments:			
Ceiling Covering/Coating: N/A		Overall Condition:	
Paint	_____	Like New	_____
Other	_____	Good	_____
Fair			
Poor			
Comments: EXPOSED TO ROOF STRUCTURE ABOVE			

Interior Columns:		Overall Condition:	
	Reinforced Concrete	_____	Like New
	Steel	_____	Good
	Wood	X	Fair
	Other	_____	Poor
	Not Applicable	_____	
Comments: WEATHERED - SLIGHTLY WARPED			
Bldg Structural Frame:		Overall Condition:	
	Reinforced Concrete	_____	Like New
	Steel	_____	Good
	Other (WOOD)	X	Fair
		_____	Poor
		_____	X
			Braced (Yes/No): N
Comments: IS VISIBLY WEATHERED WITH SIGNS OF BOWING IN BOTH THE ROOF STRUCTURE AND THE COLUMNS			
Doors: N/A		Overall Condition:	
	Hollow Metal	_____	Like New
	Wood	_____	Good
	Other	_____	Fair
Size:		_____	Poor
Comments: _____			
Windows: N/A		Overall Condition:	
Type:	_____		Like New
Size:	_____		Good
			Fair
			Poor
Comments: _____			
Stairs: N/A		Overall Condition:	
Rise:	_____		Like New
Run:	_____		Good
			Fair
			Poor
Comments: _____			

Guardrail/Handrail: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Height: _____		Good	_____
Post Spacing: _____		Fair	_____
		Poor	_____
Comments: _____			

Grating: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Welded: _____ Riveted: _____		Good	_____
Bearing Height: _____ Thickness: _____ Spacing: _____		Fair	_____
Bar: _____		Poor	_____
Comments: _____			

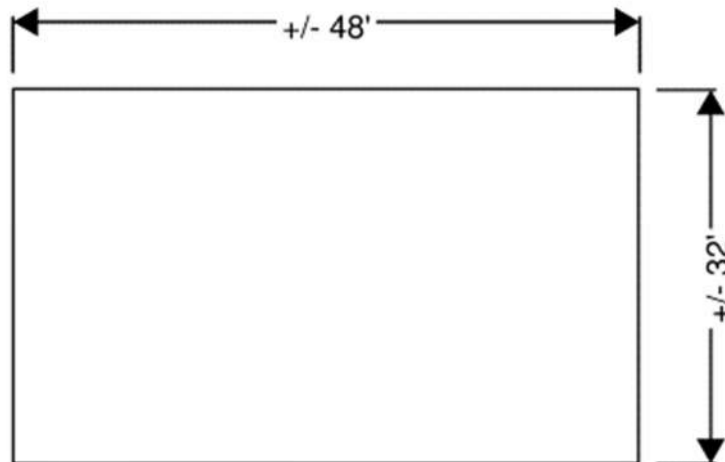
Below Grade Vault: N/A			
Precast Concrete	_____		
Cast-In-Place Concrete	_____		
Other	_____		
Interior Dimensions	L: _____	W: _____	H: _____
Hatch Type:	_____		
Sump Pit:	_____		
Comments: _____			

Access Hatch: N/A	
Type: _____	Material: _____
Size: _____	
Comments: _____	

Plumbing Fixtures: N/A		Overall Condition:	
Sinks	_____	Like New	_____
Toilets	_____	Good	_____
Showers	_____	Fair	_____
Drinking Fountains	_____	Poor	_____
Other: URINAL	_____		
Comments: _____			

ACTION ITEMS/NOTES:

THE STRUCTURE SERVES AS AN OPEN-AIR PAVILION. IT WAS FLOODED TWICE IN 2023 AND IS VISIBLY WEATHERED WITH SIGNS OF BOWING IN BOTH THE ROOF STRUCTURE AND THE COLUMNS. THE BUILDING DOES NOT MEET 521 CMR NOR ADA 2010 AS IT DOES NOT HAVE AN ACCESSIBLE ROUTE TO THE STRUCTURE.

Sketches:

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Foundation:		Overall Condition:	
Stone Masonry	_____	Like New	_____
Reinforced Concrete	X _____	Good	_____
Cement Masonry Units	_____	Fair	X _____
Other	_____	Poor	_____
Comments:			
Interior Wall Type: N/A		Overall Condition:	
Gypsum/Stud Walls	_____	Like New	_____
Masonry (CMU)	_____	Good	_____
Reinforced Concrete	_____	Fair	_____
Other	_____	Poor	_____
Not Applicable	_____	Load Bearing (Y/N):	_____
Interior Wall Coverings/Coatings: N/A		Overall Condition:	
Paint	_____	Like New	_____
Wallpaper	_____	Good	_____
Other	_____	Fair	_____
		Poor	_____
Comments:			
Floor:		Overall Condition:	
Reinforced Concrete	_____	Like New	_____
Concrete on Metal Deck	_____	Good	_____
Wood	X _____	Fair	_____
Other	_____	Poor	X _____
Floor Covering/Coating:		Overall Condition:	
Paint	_____	Like New	_____
Tile	_____	Good	_____
Cheml-Resistant Coating	_____	Fair	_____
Other	_____	Poor	_____
Not Applicable	X _____		
Comments:			
Ceiling Covering/Coating: N/A		Overall Condition:	
Paint	_____	Like New	_____
Other	_____	Good	_____
		Fair	_____
		Poor	_____
Comments: EXPOSED TO ROOF STRUCTURE ABOVE			

Interior Columns: N/A		Overall Condition:	
	Reinforced Concrete	_____	Like New _____
	Steel	_____	Good _____
	Wood	_____	Fair _____
	Other	_____	Poor _____
	Not Applicable	_____	
Comments:			
Bldg Structural Frame:		Overall Condition:	
	Reinforced Concrete	_____	Like New _____
	Steel	_____	Good _____
	Other (WOOD)	<u> X </u>	Fair <u> X </u>
			Poor _____
		Braced (Yes/No):	<u> N </u>
Comments: HAS PEELING PAINT			
Doors:		Overall Condition:	
	Hollow Metal	_____	Like New _____
	Wood	<u> X </u>	Good _____
	Other	_____	Fair _____
			Poor <u> X </u>
Size: _____			
Comments: DAMAGED/ WEATHERED/ HAVE PEELING PAINT			
Windows: N/A		Overall Condition:	
Type:	_____		Like New _____
Size:	_____		Good _____
			Fair _____
			Poor _____
Comments:			
Stairs:		Overall Condition:	
Rise:	<u> WOOD </u>		Like New _____
Run:	<u> WOOD </u>		Good _____
			Fair _____
			Poor <u> X </u>
Comments: HAVE PEELING PAINT AND ARE WEATHERED AND ARE MISSING HANDRAILS			

Guardrail/Handrail: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Height: _____		Good	_____
Post Spacing: _____		Fair	_____
		Poor	_____
Comments: HANDRAILS ARE MISSING			

Grating: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Welded: _____ Riveted: _____		Good	_____
Bearing Height: _____ Thickness: _____ Spacing: _____		Fair	_____
Bar: _____		Poor	_____
Comments:			

Below Grade Vault: N/A			
Precast Concrete	_____		
Cast-In-Place Concrete	_____		
Other	_____		
Interior Dimensions	L: _____	W: _____	H: _____
Hatch Type:	_____		
Sump Pit:	_____		
Comments:			

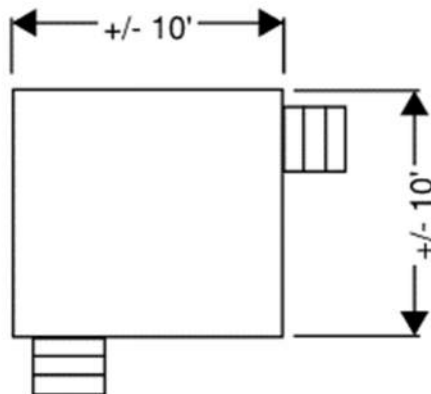
Access Hatch: N/A	
Type: _____	Material: _____
Size: _____	
Comments:	

Plumbing Fixtures: N/A		Overall Condition:	
Sinks	_____	Like New	_____
Toilets	_____	Good	_____
Showers	_____	Fair	_____
Drinking Fountains	_____	Poor	_____
Other:	_____		
Comments:			

ACTION ITEMS/NOTES:

THE USE OF THE STRUCTURE IS AS A STORAGE SHED WHICH IS RAISED ABOVE THE GROUND AND ACCESSED BY WOODEN STEPS. THE STRUCTURE WAS FLOODED TWICE IN 2023 AND SHOWS VISIBLE SIGNS OF DETERIORATION. THE BUILDING DOES NOT MEET 521 CMR NOR ADA 2010 DUE TO THE ENTRIES NOT BEING AT GRADE AND ACCESSIBLE ONLY THROUGH WOODEN STEPS. THE WOODEN STEPS DO HAVE HANDRAILS.

Sketches:



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J:\02\Structural\CIPs\Facility Evaluation Form - Structural.docx

Facility:	Musante Beach	Inspection Date:	12/27/2023
Address:	85 Reservoir Road, Leeds, MA 01053	Inspected By:	Yvonne D'Errico
Process Area:	_____	Construction Date:	_____

STRUCTURAL / ARCHITECTURAL INSPECTION

Building Dimensions:

Exterior _____

Interior _____

Dimensions L: _____ W: _____ H: _____

See Plans for Dimensions X

Comments: SEE PLAN SKETCH AT THE END OF THIS REPORT FOR BUILDING FOOTPRINT DIMENSIONS

BUILDING STRUCTURE

Roofing Type:

Overall Condition:

Membrane	_____	Like New	_____
Shingle	X	Good	X
Tar and Gravel	_____	Fair	_____
Other	_____	Poor	_____

Comments:

Roof Structure:

Overall Condition:

Precast Plank	_____	Like New	_____
Steel-framed	_____	Good	X
Cast-in-Place Concrete	_____	Fair	_____
Wood	X	Poor	_____
Other	_____		
Unknown	_____		

Comments:

Exterior Wall Type:

Overall Condition:

Single Wythe Masonry (CMU)	X	Like New	_____
Double Wythe Masonry	_____	Good	X
Reinforced Concrete	_____	Fair	_____
Precast Concrete	_____	Poor	_____
Wood Frame	_____	Load Bearing (Y/N): Y	
Other	_____		

Comments:

Foundation:		Overall Condition:	
Stone Masonry	_____	Like New	_____
Reinforced Concrete	X _____	Good	X _____
Cement Masonry Units	_____	Fair	_____
Other	_____	Poor	_____
Comments:			
Interior Wall Type:		Overall Condition:	
Gypsum/Stud Walls	_____	Like New	_____
Masonry (CMU)	X _____	Good	_____
Reinforced Concrete	_____	Fair	X _____
Other	_____	Poor	_____
Not Applicable	_____	Load Bearing (Y/N):	_____
Interior Wall Coverings/Coatings:		Overall Condition:	
Paint	X _____	Like New	_____
Wallpaper	_____	Good	_____
Other	_____	Fair	_____
Comments: PEELING PAINT IS VISIBLE ON THE INTERIOR		Poor	X _____
Floor:		Overall Condition:	
Reinforced Concrete	X _____	Like New	_____
Concrete on Metal Deck	_____	Good	X _____
Wood	_____	Fair	_____
Other	_____	Poor	_____
Floor Covering/Coating:		Overall Condition:	
Paint	X _____	Like New	_____
Tile	_____	Good	_____
Cheml-Resistant Coating	_____	Fair	_____
Other	_____	Poor	X _____
Not Applicable	_____	Comments: PEELING PAINT IS VISIBLE ON THE INTERIOR	
Ceiling Covering/Coating:		Overall Condition:	
Paint	X _____	Like New	_____
Other	_____	Good	_____
Comments:		Fair	X _____
		Poor	_____

Interior Columns: N/A		Overall Condition:	
	Reinforced Concrete	_____	Like New _____
	Steel	_____	Good _____
	Wood	_____	Fair _____
	Other	_____	Poor _____
	Not Applicable	_____	
Comments:			
Bldg Structural Frame:		Overall Condition:	
	Reinforced Concrete	_____	Like New _____
	Steel	_____	Good _____
	Other: CMU	X _____	Fair _____
			Poor _____
		Braced (Yes/No):	_____
Comments:			
Doors:		Overall Condition:	
	Hollow Metal	X _____	Like New _____
	Wood	_____	Good _____
	Other	_____	Fair _____
			Poor _____
Size:	_____		
Comments: DOORS REQUIRE RE-PAINTING			
Windows: N/A		Overall Condition:	
Type:	_____		
Size:	_____		
			Like New _____
			Good _____
			Fair _____
			Poor _____
Comments:			
Stairs: N/A		Overall Condition:	
Rise:	_____		
Run:	_____		
			Like New _____
			Good _____
			Fair _____
			Poor _____
Comments:			

Guardrail/Handrail: N/A		Overall Condition:	
Type: Aluminum: _____	Steel: _____	Other: _____	Like New _____
Height: _____			Good _____
Post Spacing: _____			Fair _____
			Poor _____
Comments: _____			

Grating: N/A		Overall Condition:	
Type: Aluminum: _____	Steel: _____	Other: _____	Like New _____
Welded: _____	Riveted: _____		Good _____
Bearing Bar: _____	Height: _____	Thickness: _____	Fair _____
		Spacing: _____	Poor _____
Comments: _____			

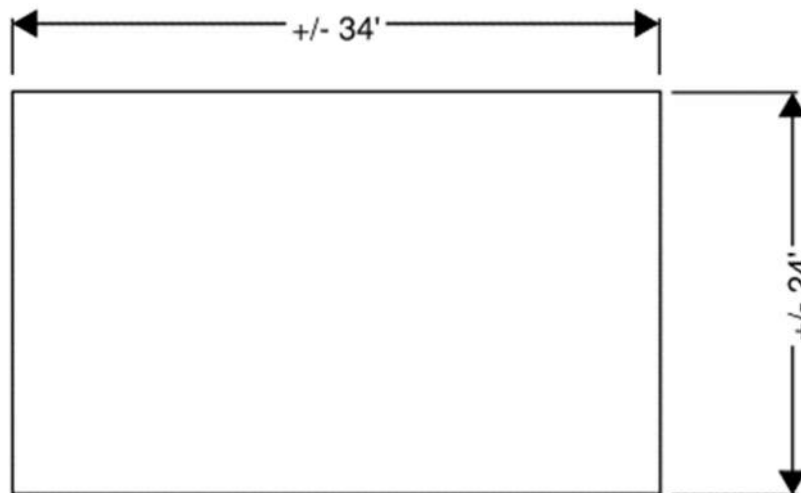
Below Grade Vault: N/A			
Precast Concrete	_____		
Cast-In-Place Concrete	_____		
Other	_____		
Interior Dimensions	L: _____	W: _____	H: _____
Hatch Type:	_____		
Sump Pit:	_____		
Comments: _____			

Access Hatch: N/A	
Type: _____	Material: _____
Size: _____	
Comments: _____	

Plumbing Fixtures:		Overall Condition:	
Sinks	4	Like New	_____
Toilets	3	Good	_____
Showers	--	Fair	X
Drinking Fountains	--	Poor	_____
Other: URINAL	1		
Comments: _____			

ACTION ITEMS/NOTES:

THE OVERALL CONDITION OF THE BUILDING FROM THE EXTERIOR IS GOOD. THE INTERIOR SHOWS PEELING PAINT ON THE WALLS AND FLOOR SLAB. THE BATHROOM PARTITIONS ARE IN POOR CONDITION. THE BUILDING DOES NOT SEEM MEET 521 CMR NOR ADA 2010 IN REGARD TO GRAB BAR DIMENSIONS AT THE TOILETS, EXPOSED PIPING AT THE UNDERSIDES OF THE SINKS, AS WELL AS NOT HAVING AN ACCESSIBLE ROUTE TO THE BUILDING ITSELF.

Sketches:

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J:\02\Structural\CIPs\Facility Evaluation Form - Structural.docx

Facility:	Sheldon Field	Inspection Date:	12/27/2023
Address:	26 Old Ferry Road, Northampton, MA 01060	Inspected By:	Yvonne D'Errico
Process Area:	_____	Construction Date:	_____

STRUCTURAL / ARCHITECTURAL INSPECTION

Building Dimensions:

Exterior _____

Interior _____

Dimensions L: _____ W: _____ H: _____

See Plans for Dimensions X

Comments: SEE PLAN SKETCH AT THE END OF THIS REPORT FOR BUILDING FOOTPRINT DIMENSIONS

BUILDING STRUCTURE

Roofing Type:

Overall Condition:

Membrane	_____	Like New	_____
Shingle	X	Good	_____
Tar and Gravel	_____	Fair	_____
Other	_____	Poor	X

Comments: SHINGLES ARE DELAMINATING/ DETERIORATED

Roof Structure:

Overall Condition:

Precast Plank	_____	Like New	_____
Steel-framed	_____	Good	_____
Cast-in-Place Concrete	_____	Fair	_____
Wood	_____	Poor	_____
Other	_____		
Unknown	X		

Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED

Exterior Wall Type:

Overall Condition:

Single Wythe Masonry (CMU)	X	Like New	_____
Double Wythe Masonry	_____	Good	_____
Reinforced Concrete	_____	Fair	_____
Precast Concrete	_____	Poor	X
Wood Frame	_____	Load Bearing (Y/N):	Y
Other	_____		

Comments: PEELING PAINT OVER THE EXTERIOR CONCRETE MASONRY UNIT WALLS

Foundation:		Overall Condition:	
Stone Masonry	_____	Like New	_____
Reinforced Concrete	X _____	Good	_____
Cement Masonry Units	_____	Fair	_____
Other	_____	Poor	X _____
Comments:			
Interior Wall Type: UNKNOWN		Overall Condition:	
Gypsum/Stud Walls	_____	Like New	_____
Masonry	_____	Good	_____
Reinforced Concrete	_____	Fair	_____
Other	_____	Poor	_____
Not Applicable	_____	Load Bearing (Y/N):	_____
Interior Wall Coverings/Coatings:		Overall Condition:	
Paint	_____	Like New	_____
Wallpaper	_____	Good	_____
Other	_____	Fair	_____
Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED		Poor	_____
Floor: UNKNOWN/ ASSUMED TO BE CONCRETE		Overall Condition:	
Reinforced Concrete	X _____	Like New	_____
Concrete on Metal Deck	_____	Good	_____
Wood	_____	Fair	_____
Other	_____	Poor	_____
Floor Covering/Coating:		Overall Condition:	
Paint	_____	Like New	_____
Tile	_____	Good	_____
Cheml-Resistant Coating	_____	Fair	_____
Other	_____	Poor	_____
Not Applicable	X _____	Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED	
Ceiling Covering/Coating: UNKNOWN		Overall Condition:	
Paint	_____	Like New	_____
Other	_____	Good	_____
Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED		Fair	_____
		Poor	_____

Interior Columns: UNKNOWN		Overall Condition:	
	Reinforced Concrete	_____	Like New
	Steel	_____	Good
	Wood	_____	Fair
	Other	_____	Poor
	Not Applicable	_____	
Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED			
Bldg Structural Frame: UNKNOWN		Overall Condition:	
	Reinforced Concrete	_____	Like New
	Steel	_____	Good
	Other	_____	Fair
		_____	Poor
		Braced (Yes/No): _____	
Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED/ CONCRETE MASONRY UNIT EXTERIOR EVALUATED IN PREVIOUS SECTION			
Doors:		Overall Condition:	
	Hollow Metal	X _____	Like New
	Wood	_____	Good
	Other	_____	Fair
Size: _____		_____	Poor
Comments: _____		_____	X
Windows: N/A		Overall Condition:	
Type: _____			Like New
Size: _____			Good
			Fair
			Poor
Comments: _____			
Stairs: N/A		Overall Condition:	
Rise: _____			Like New
Run: _____			Good
			Fair
			Poor
Comments: _____			

Guardrail/Handrail: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Height: _____		Good	_____
Post Spacing: _____		Fair	_____
		Poor	_____
Comments:			

Grating: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Welded: _____ Riveted: _____		Good	_____
Bearing Height: _____ Thickness: _____ Spacing: _____		Fair	_____
Bar: _____		Poor	_____
Comments:			

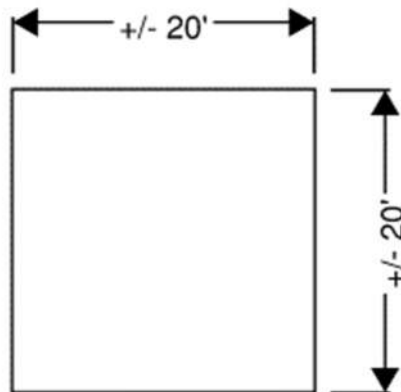
Below Grade Vault: N/A			
Precast Concrete	_____		
Cast-In-Place Concrete	_____		
Other	_____		
Interior Dimensions	L: _____	W: _____	H: _____
Hatch Type:	_____		
Sump Pit:	_____		
Comments:			

Access Hatch: N/A	
Type: _____	Material: _____
Size: _____	
Comments:	

Plumbing Fixtures: UNKNOWN		Overall Condition:	
Sinks	_____	Like New	_____
Toilets	_____	Good	_____
Showers	_____	Fair	_____
Drinking Fountains	_____	Poor	_____
Other	_____		
Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED			

ACTION ITEMS/NOTES:

THE INTERIOR OF THE STRUCTURE WAS INACCESSIBLE. ONLY EXTERIOR OBSERVATIONS WERE MADE. PEELING GREEN PAINT ON THE EXTERIOR. OVERALL, THE BUILDING SEEMS TO BE IN POOR CONDITION. THE BUILDING DOES NOT MEET 521 CMR NOR ADA 2010 AT THE ENTRIES.

Sketches:

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J:\02\Structural\CIPs\Facility Evaluation Form - Structural.docx

Facility:	Veterans Field	Inspection Date:	12/27/2023
Address:	West Street, Northampton, MA 01060	Inspected By:	Yvonne D'Errico
Process Area:	_____	Construction Date:	_____

STRUCTURAL / ARCHITECTURAL INSPECTION

Building Dimensions:

Exterior _____

Interior _____

Dimensions L: _____ W: _____ H: _____

See Plans for Dimensions X

Comments: SEE PLAN SKETCH AT THE END OF THIS REPORT FOR BUILDING FOOTPRINT DIMENSIONS

BUILDING STRUCTURE

Roofing Type:

Overall Condition:

Membrane	_____	Like New	_____
Shingle	X	Good	_____
Tar and Gravel	_____	Fair	X
Other	_____	Poor	_____

Comments: SHINGLES ARE DELAMINATING/ DETERIORATED

Roof Structure:

Overall Condition:

Precast Plank	_____	Like New	_____
Steel-framed	_____	Good	_____
Cast-in-Place Concrete	_____	Fair	_____
Wood	_____	Poor	_____
Other	_____		
Unknown	X		

Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED

Exterior Wall Type:

Overall Condition:

Single Wythe Masonry (CMU)	X	Like New	_____
Double Wythe Masonry	_____	Good	_____
Reinforced Concrete	_____	Fair	X
Precast Concrete	_____	Poor	_____
Wood Frame	_____	Load Bearing (Y/N):	
Other	_____		

Comments:

Foundation:		Overall Condition:	
Stone Masonry	_____	Like New	_____
Reinforced Concrete	X _____	Good	_____
Cement Masonry Units	_____	Fair	X _____
Other	_____	Poor	_____
Comments:			
Interior Wall Type: UNKNOWN		Overall Condition:	
Gypsum/Stud Walls	_____	Like New	_____
Masonry	_____	Good	_____
Reinforced Concrete	_____	Fair	_____
Other	_____	Poor	_____
Not Applicable	_____	Load Bearing (Y/N):	_____
Interior Wall Coverings/Coatings:		Overall Condition:	
Paint	_____	Like New	_____
Wallpaper	_____	Good	_____
Other	_____	Fair	_____
Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED		Poor	_____
Floor: UNKNOWN/ ASSUMED TO BE CONCRETE		Overall Condition:	
Reinforced Concrete	X _____	Like New	_____
Concrete on Metal Deck	_____	Good	_____
Wood	_____	Fair	_____
Other	_____	Poor	_____
Floor Covering/Coating:		Overall Condition:	
Paint	_____	Like New	_____
Tile	_____	Good	_____
Cheml-Resistant Coating	_____	Fair	_____
Other	_____	Poor	_____
Not Applicable	X _____	Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED	
Ceiling Covering/Coating:		Overall Condition:	
Paint	_____	Like New	_____
Other	_____	Good	_____
Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED		Fair	_____
		Poor	_____

Interior Columns:		Overall Condition:	
	Reinforced Concrete	_____	Like New
	Steel	_____	Good
	Wood	_____	Fair
	Other	_____	Poor
	Not Applicable	_____	
Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED			
Bldg Structural Frame:		Overall Condition:	
	Reinforced Concrete	_____	Like New
	Steel	_____	Good
	Other	_____	Fair
			Poor

			Braced (Yes/No): _____
Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED/ CONCRETE MASONRY UNIT EXTERIOR EVALUATED IN PREVIOUS SECTION			
Doors:		Overall Condition:	
	Hollow Metal	X	Like New
	Wood	_____	Good
	Other	_____	Fair
Size:			Poor
Comments:	_____		X

Windows: N/A		Overall Condition:	
Type:	_____		Like New
Size:	_____		Good
			Fair
			Poor
Comments:			_____
Stairs: N/A		Overall Condition:	
Rise:	_____		Like New
Run:	_____		Good
			Fair
			Poor
Comments:			_____

Guardrail/Handrail: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Height: _____		Good	_____
Post Spacing: _____		Fair	_____
		Poor	_____
Comments:			

Grating: N/A		Overall Condition:	
Type: Aluminum: _____ Steel: _____ Other: _____		Like New	_____
Welded: _____ Riveted: _____		Good	_____
Bearing Height: _____ Thickness: _____ Spacing: _____		Fair	_____
Bar: _____		Poor	_____
Comments:			

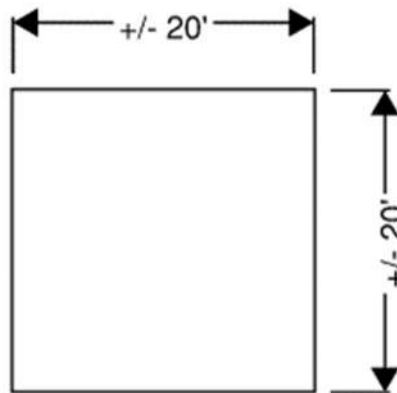
Below Grade Vault: N/A			
Precast Concrete	_____		
Cast-In-Place Concrete	_____		
Other	_____		
Interior Dimensions	L: _____	W: _____	H: _____
Hatch Type:	_____		
Sump Pit:	_____		
Comments:			

Access Hatch: N/A	
Type: _____	Material: _____
Size: _____	
Comments:	

Plumbing Fixtures: N/A		Overall Condition:	
Sinks	_____	Like New	_____
Toilets	_____	Good	_____
Showers	_____	Fair	_____
Drinking Fountains	_____	Poor	_____
Other	_____		
Comments: INTERIOR WAS NOT ACCESSIBLE TO BE EVALUATED			

ACTION ITEMS/NOTES:

THE INTERIOR OF THE STRUCTURE WAS INACCESSIBLE. ONLY EXTERIOR OBSERVATIONS WERE ABLE TO BE MADE. THE EXTERIOR IS PAINTED WITH COLORFUL MURALS AND GRAFFITI. AN EXTERIOR DOOR IS BOARDED UP WITH PLYWOOD. WHETHER THE BUILDING MEETS 521 CMR OR ADA 2010 COULD NOT BE EVALUATED DUE TO THE BOARDING UP OF AN ENTRY WITH PLYWOOD AND NOT BEING ABLE TO ENTER INTO THE INTERIOR.

Sketches:

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Tighe&Bond

APPENDIX D

		Co-Ed Softball	Recreational Lacrosse (Jr + Sr)	NSC	Recreational Soccer	Adult Softball (Mens & Co-Ed)	Legion	Smith Vocational High School
Estimated Number of Field Uses	Agnes Fox Playground	MPR						
	Arcanum Field	90' Baseball Diamond					15	31
		60' Baseball Diamond						
	Florence Recreation Fields	90' Baseball Diamond						
		60' Baseball Diamond						
		MPR (Space 3)			121			
		MPR (Space 4)			120	1		
		MPR (Space 5)			119			
	Maines Field	60' Softball Diamond	20				44	
	Ray EllerBrook Fields	60' Baseball Diamond	80				73	
		MPR		65		68		
	Sheldon Field Park	60' Softball Diamond (Space 1)	16				1	32
		60' Baseball Diamond (Space 2)						
		60' Softball Diamond (Space 3)						1
60' Softball Diamond (Space 4)								
MPR #1					12			
Veterns' Field	MPR #2							
	90' Baseball Diamond							
Total Usage Per Oragnized Based on Wear		116	65	360	81	118	15	64

Note #1 - Field Deamnd Use Matrix derived from schedule provided by City of Northampton Parks and Recreation Department for the 2023 year.

			Athletic Organizations					
			Smith Vocational High School MIAA Tournament	Smith Vocational High School Boy's Varsity Baseball	Smith Vocational High School Boy's JV Baseball	Smith Vocational High School Girls Varsity Softball	Smith Vocational High School Girls JV Softball	Northampton Baseball & Softball League
Estimated Number of Field Uses	Agnes Fox Playground	MPR						
	Arcanum Field	90' Baseball Diamond	1	9	3			
		60' Baseball Diamond						159
	Florence Recreation Fields	90' Baseball Diamond						58
		60' Baseball Diamond						107
		MPR (Space 3)						
		MPR (Space 4)						
	Maines Field	60' Softball Diamond						
		MPR						
	Ray EllerBrook Fields	60' Baseball Diamond						
		MPR						
	Sheldon Field Park	60' Softball Diamond (Space 1)				7		72
		60' Baseball Diamond (Space 2)						167
		60' Softball Diamond (Space 3)					5	28
		60' Softball Diamond (Space 4)						14
MPR #1								
Veterans' Field	MPR #2							
	90' Baseball Diamond							
Total Usage Per Organized Based on Wear			1	9	3	7	5	605

Note #1 - Field Demand Use Matrix derived from schedule provided by City of Northampton Parks and Recreation Department for the 2023 year.

		Northampton High School Boy's JV Baseball	John (Rental)	Ultimate Feffer (Ultimate Frisby)	Koufax Baseball Youth League	Softball Tourny	
Estimated Number of Field Uses	Agnes Fox Playground	MPR					
	Arcanum Field	90' Baseball Diamond				5	
		60' Baseball Diamond					
	Florence Recreation Fields	90' Baseball Diamond	27	4		51	
		60' Baseball Diamond					
		MPR (Space 3)					
		MPR (Space 4)					
	Maines Field	MPR (Space 5)					
		60' Softball Diamond					
	Ray EllerBrook Fields	60' Baseball Diamond					6
		MPR					
	Sheldon Field Park	60' Softball Diamond (Space 1)					
		60' Baseball Diamond (Space 2)					
		60' Softball Diamond (Space 3)					
		60' Softball Diamond (Space 4)					
MPR #1							
Veterns' Field	MPR #2						
	90' Baseball Diamond			0			
Total Usage Per Oragnized Based on Wear		27	4	0	56	6	

Note #1 - Field Deamnd Use Matrix derived from schedule provided by City of Northampton Parks and Recreation Department for the 2023 year.

		Neighborhood Pull-Up Game	Practices	Wiffle Ball	Mary V Womens Softball League	Windhorse Integrative (rental)
Estimated Number of Field Uses	Agnes Fox Playground	MPR				
	Arcanum Field	90' Baseball Diamond				
		60' Baseball Diamond	5	22	1	
	Florence Recreation Fields	90' Baseball Diamond		2		
		60' Baseball Diamond		14		
		MPR (Space 3)				
		MPR (Space 4)				
	Maines Field	MPR (Space 5)				
		60' Softball Diamond				
	Ray EllerBrook Fields	60' Baseball Diamond				
		MPR				
	Sheldon Field Park	60' Softball Diamond (Space 1)				31
		60' Baseball Diamond (Space 2)				1
		60' Softball Diamond (Space 3)		8		36
		60' Softball Diamond (Space 4)				
MPR #1						
Veterns' Field	MPR #2					
	90' Baseball Diamond					
Total Usage Per Oragnized Based on Wear		5	46	1	67	1

Note #1 - Field Deamnd Use Matrix derived from schedule provided by City of Northampton Parks and Recreation Department for the 2023 year.

		Dark Hampshire County Bar Assoc (Rental)	Northampton Parents Center (Rental)	Ntown Neighbours (rental)	#NAME? Joseph Keith (rental)	Total Usage Per Field	Total Usage Per Field with 30% Factor	
Estimated Number of Field Uses	Agnes Fox Playground	MPR				0	0	
	Arcanum Field	90' Baseball Diamond				64	83	
		60' Baseball Diamond				187	243	
	Florence Recreation Fields	90' Baseball Diamond				142	185	
		60' Baseball Diamond		2		123	160	
		MPR (Space 3)				121	157	
		MPR (Space 4)				121	157	
	Maines Field	MPR (Space 5)			1	120	156	
		60' Softball Diamond				64	83	
		Ray EllerBrook Fields	60' Baseball Diamond				159	207
	MPR					6	139	181
	Sheldon Field Park	60' Softball Diamond (Space 1)					159	207
		60' Baseball Diamond (Space 2)					168	218
		60' Softball Diamond (Space 3)	1				79	103
		60' Softball Diamond (Space 4)					14	18
Veterans' Field		MPR #1					12	16
	MPR #2					0	0	
	90' Baseball Diamond					0	0	
Total Usage Per Orgnized Based on Wear		1	2	1	6	1672	2174	

Note #1 - Field Demand Use Matrix derived from schedule provided by City of Northampton Parks and Recreation Department for the 2023 year.

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APPENDIX E

Maintenance Activity	Labor/Equipment/Materials	Unit	Quantity	Total Personnel Hours
Maintenance and Inventorying of Equipment and Training (E)	Supervisor	PH	10	30
	Worker	PH	20	
Soil Sampling, Spring Facility Inspection, Work Order Scheduling (I)	Supervisor	PH	1	1
Organic Fertilizing Athletic Field (F)	Supervisor	PH	0.5	4
	Worker	PH	3.5	
Automatic Field Irrigation (IR)	Supervisor	PH	0.5	0.5
Adjust pH of athletic field (lime spreading) (L)	Supervisor	PH	0.5	2.5
	Worker	PH	2	
Field Aeration (A)	Supervisor	PH	0.5	4
Worker	PH	3.5		
Topdressing field with sand (TD)	Supervisor	PH	0.5	4
	Worker	PH	3.5	
Overseeding Field (OV)	Supervisor	PH	0.5	2.5
	Worker	PH	2	
Spring Clean-Up, Service Irrigation, Inspection, and Repairs (S)	Supervisor	PH	1	4
	Worker	PH	3	
Fall Clean-Up, Inspection, and Repairs (WC)	Supervisor	PH	1	9
	Worker 1	PH	4	
	Worker 2	PH	4	
Baseball Fields: Cutting Grass, Re-Stripe, Rake Out Infield (4 Times per Week) - (MB)	Supervisor	PH	0.5	6.5
	Worker	PH	6	
Rectangular Multi-Purpose Field: Cutting Grass, Re-Stripe (MR)	Supervisor	PH	0.5	4.5
	Worker	PH	4	
Northampton Schools Field: Cutting Grass (HG)	Supervisor	PH	0.5	4
	Worker	PH	3.5	
Organic Weed and Pest Control Application (PW)	Supervisor	PH	0.5	4
	Worker	PH	3.5	
Half-Day General Facility Maintenance -Mowing/Weedwacking/Small Repairs (GM1) 2.5 acres or Less of Area	Supervisor	PH	1	5
	Worker	PH	4	
Full-Day General Facility Maintenance -Mowing/Weedwacking/Small Repairs (GM2) 2 acres or More of Area	Supervisor	PH	1	9
	Worker	PH	8	

Tighe&Bond

APPENDIX F

	Month																						
	August					September				October				November				December					
	W*K 30	W*K 31	W*K 32	W*K 33	W*K 34	W*K 35	W*K 36	W*K 37	W*K 38	W*K 39	W*K 40	W*K 41	W*K 42	W*K 43	W*K 44	W*K 45	W*K 46	W*K 47	W*K 48	W*K 49	W*K 50	W*K 51	W*K 52
Off-Season																		E	E				
Lampron Park																							
General Facility Maintenance (1.18 AC)	GM1	GM1	GM1	T, GM1	GM1	GM1	GM1	T,GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1						
Pulaski Park																							
General Facility Maintenance (0.53 AC)	GM1	GM1	GM1	T, GM1	GM1	GM1	GM1	T,GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1						
Musante Beach																							
General Facility Maintenance (0.7 AC)	GM1	GM1	GM1	T, GM1	GM1	GM1	GM1	T,GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1						
Agnes Fox Playground (Not Irrigation)																							
MPR Field	MR	MR	MR	MR	A,MR	MR,TD	MR,OV	MR,F	MR	MR	MR		MR			WC			L				
General Facility Maintenance (0.98 AC)	GM1	MR,IR	GM1	T, GM1	GM1	GM1	GM1	T,GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1						
Arcanum Field (Irrigation)																							
MPR Field	MR,IR	MR,IR	MR,IR	MR,IR	A,MR,IR	MR,TD	MR,OV	MR,F	MR	MR	MR		MR		WC				L				
60' Baseball Diamond	MB,IR	MB,IR	MB,IR	A, MB, IR	IR,MB,TD	MB, OV, PW	MB,F	MB	MB	MB		MB		MB	WC				L				
90' Baseball Diamond	MB,IR	MB,IR	MB,IR	A, MB, IR	IR,MB,TD	MB, OV, PW	MB,F	MB	MB	MB		MB		MB	WC				L				
General Facility Maintenance (2.44 AC)	GM1	GM1	GM1	T, GM1	GM1	GM1	GM1	T, GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1	GM1						
Florence Recreation Field Baseball (Irrigation)																							
90' Baseball Diamond	MB,IR	MB,IR	MB,IR	A, MB, IR	IR,MB,TD	MB, OV, PW	MB,F	MB	MB	MB		MB		MB	WC				L				
60' Baseball Diamond	MB,IR	MB,IR	MB,IR	A, MB, IR	IR,MB,TD	MB, OV, PW	MB, F	MB	MB	MB		MB		MB	WC				L				
MPR Field 1	MR,IR	MR,IR	MR,IR	MR,IR	A,MR,IR	MR,TD	MR,OV	MR,F	MR	MR	MR		MR			WC				L			
MPR Field 2	MR,IR	MR,IR	MR,IR	MR,IR	A,MR,IR	MR,TD	MR,OV	MR,F	MR	MR	MR		MR			WC				L			
MPR Field 3	MR,IR	MR,IR	MR,IR	MR,IR	A,MR,IR	MR,TD	MR,OV	MR,F	MR	MR	MR		MR			WC				L			
MPR Field 4	MR,IR	MR,IR	MR,IR	MR,IR	A,MR,IR	MR,TD	MR,OV	MR,F	MR	MR	MR		MR			WC				L			
MPR Field 5	MR,IR	MR,IR	MR,IR	MR,IR	A,MR,IR	MR,TD	MR,OV	MR,F	MR	MR	MR		MR			WC				L			
General Facility Maintenance (4.35 AC)	GM2	GM2	GM2	T, GM2	GM2	GM2	GM2	T, GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2						
Maines Field (Irrigation)																							
60' Softball Diamond	IR	IR	IR	A, MB	MB,TD	MB, OV, PW	MB, F	MB	MB	MB		MB		MB	WC				L				
General Facility Maintenance (3.82 AC)	GM2	GM2	GM2	T,GM2	GM2	GM2	GM2	T,GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2						
Ray Ellerbrook Field (Split Irrigation)																							
60' Softball Diamond (Not Irrigated)	MB	MB	MB	A, MB	MB,TD	MB, OV, PW	MB, F	MB	MB	MB		MB		MB	WC				L				
MPR Field (Irrigated)	MR,IR	MR,IR	MR,IR	MR,IR	A,MR,IR	MR,TD	MR,OV	MR,F	MR	MR	MR		MR			WC				L			
General Facility Maintenance (6.37 AC)	GM2	GM2	GM2	T,GM2	GM2	GM2	GM2	T,GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2						
Sheldon Field Park (Not Irrigated)																							
60' Softball Diamond (1)	MB	MB	MB	A, MB	IR,MB	MB, OV, PW	MB, F	MB	MB	MB		MB		MB	WC				L				
60' Baseball Diamond (2)	MB	MB	MB	A, MB	IR,MB	MB, OV, PW	MB, F	MB	MB	MB		MB		MB	WC				L				
60' Softball Diamond (3)	MB	MB	MB	A, MB	IR,MB	MB, OV, PW	MB, F	MB	MB	MB		MB		MB	WC				L				
60' Softball Diamond (4)	MB	MB	MB	A, MB	IR,MB	MB, OV, PW	MB, F	MB	MB	MB		MB		MB	WC				L				
MPR Field 1	MR	MR	MR	MR	A,MR	MR,TD	MR,OV	MR,F	MR	MR	MR		MR			WC				L			
General Facility Maintenance (7.24 AC)	GM2	GM2	GM2	T,GM2	GM2	GM2	GM2	T,GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2						
Veterans Field (Not Irrigated)																							
90' Baseball Diamond	MB	MB	MB	A, MB	MB,TD	MB, OV, PW	MB, F	MB	MB	MB		MB		MB	WC				L				
General Facility Maintenance (3.59 AC)	GM2	GM2	GM2	T,GM2	GM2	GM2	GM2	T,GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2	GM2						
Ryan Road Elementary School																							
60' Baseball Diamond (1) T Ball	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG									
60' Baseball Diamond (2) T Ball	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG									
60' Baseball Diamond (3) T Ball	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG									
60' Baseball Diamond (4) 50/70	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG									
Leeds Elementary School																							
60' Baseball Diamond (Kick Ball)	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG									
MPR Field (No Maintenance Provided)																							
Jackson Street Elementary School																							
MPR Field	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG									
JFK Middle School																							
60' Softball Diamond	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG									
MPR Field 1	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG									
Bear Hill Rec Space	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG									
Northampton High School																							
60' Softball Diamond	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG								
90' Baseball Diamond	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG								
MPR Field 1	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG								
Track Field	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG	HG		HG		HG								
Smith Vocational High School																							
MPR Field 1 (Striping Only)																							
Personnel																							
Maintenance Laborer Hours	201.5	201.5	201.5	246	263.5	299.5	264	239	207.5	207.5	110	157.5	110	157.5	162	132	60	42	38	0	0	0	0
Maintenance Supervisor Hours	32	32	32	37.5	42	42	36.5	31	26.5	26.5	16.5	20	16.5	20	23	19	10	15.5	14.5	0	0	0	0
Estimated Worker Required	7	7	7	9	9	10	9	8	7	7	4	6	4	6	6	5	2	2	2	0	0	0	0
Estimated Supervisors Required	2	2	2	2	2	2	2	2	1	1	1	1	1	1	1	1	1	1	1	0	0	0	0
Average Monthly Workers				8.0			8.5					5.4					3.4					0.0	
Average Monthly Supervisors				2.0			1.8					1.0					1.0					0.0	