

(f) Dimensional Standards

- (A) Minimum Setback The minimum setback (side or rear setback, depending on context) or the minimum required transitional buffer, whichever is greater

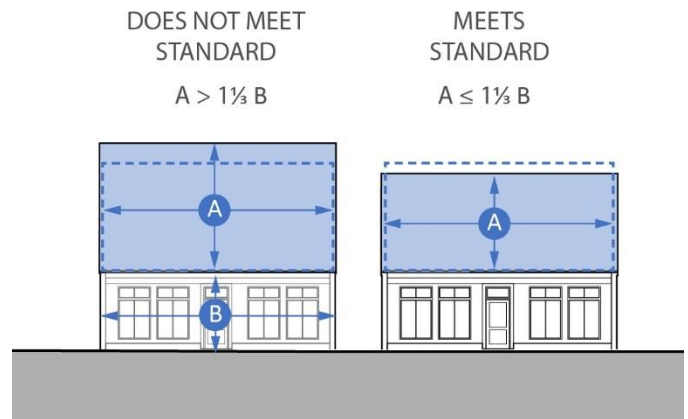
(C) Property Line

D. Roofs

(1) Minimizing Visual Impact of Large Roofs

- (a) A roof visible from a public way or public park, must comprise less than 1 and 1/3 of the visible area of the walls below it. Fenestrated areas shall be included in the calculation of wall area. For the purposes of this provision, rail trails will not be considered public parks or public ways.

(i) Diagram



- (b) A roof visible from a public way or park that is longer than the thresholds set within district standards must incorporate one or more of the following roof variations: a change of roof height of at least 1', a change of roof pitch of at least 2:12, or change of the direction of roof pitch, or a dormer.

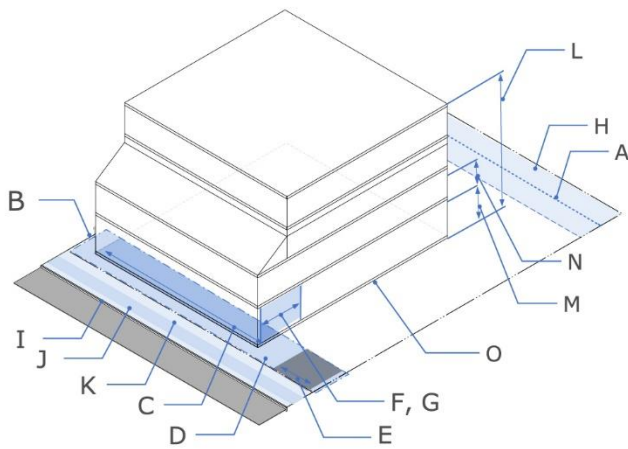
- (c) All pitched roofs must be designed and configured to prevent the snow and ice from sliding onto any, path, walkway, building entrance or exit.

- (2) Mansard and gambrel roofs are only not allowed on buildings with 3 or more stories.

- (3) A building with a flat roof must include an architectural feature that visually expresses

C. Table of Character-Based Requirements for Central Business-Side Street District

--	No requirement	PB	Allowed by Special Permit from Planning Board
/	When two numbers are separated by a / symbol, the first number is the minimum requirement, and the second number is the maximum requirement.	CBAC	Review by Central Business Architecture Committee
Y	Allowed by-right. All uses must be registered with the Building Commissioner and comply with all codes. Site Plan Approval is often also required for uses above certain thresholds.	No	Not Allowed
Site	Allowed with Site Plan Approval from Planning Board. Intermediate Site Plan Approval is required unless the project otherwise triggers Major Site Plan Approval (Site-M).	N/A	Not Applicable



Public Realm Dimensions		CB-Side Street
I	Furnishing and Utility Zone (min)	2'
J	Pedestrian Throughway(min)	5'
K	Lot Frontage Zone (min)	2'

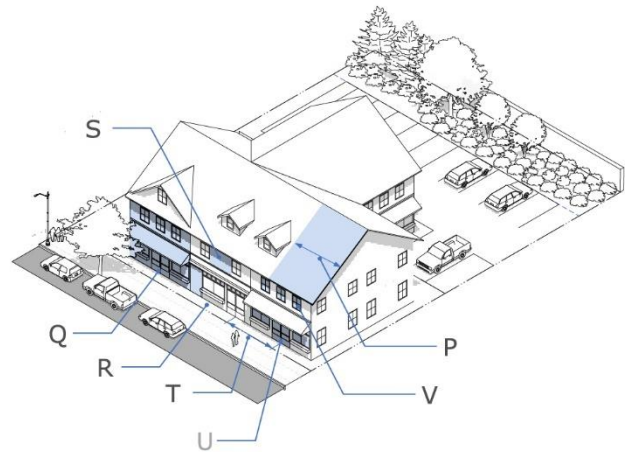
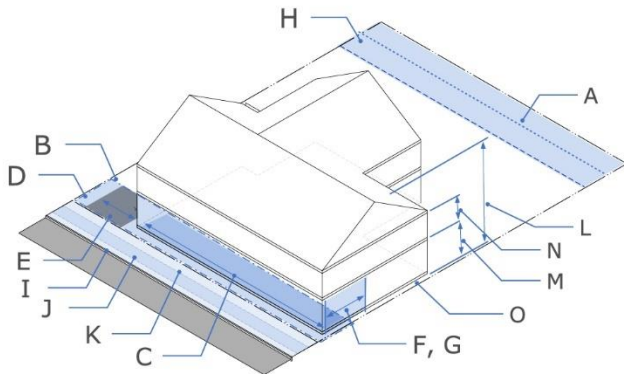
		CB-Side Street
Lot Standards		
	Lot Size (min/max)	--
	Frontage (min/max)	--
	Lot Width	--
	Lot Depth	--
	Side setback (min/max)	--
A	Rear setback (min)	--
B	Build-To-Zone	0-10'
	Special Permit to Increase Maximum Front Setback	PB
C	Building Frontage Occupancy (min) ³¹	75%
D	Allowed Uses of Lot Frontage Zone ³²	Building, Landscape Component, Public Realm Component, Driveway (when allowed)
E	Driveway Width in Lot Frontage Zone (max) (when allowed)	20'
	Open Space (min)	--
F	Ground Floor Use Limitation Area, residential use (min) ³³	0' -Site
G	Ground Floor Use Limitation Area, parking use (min) ³⁴	0' - Site
H	District Transitional Buffer, Width (min)	20'

³¹ See §350-21.6.E

³² Subject to other provisions. See§350-21.6.D.

³³ See §350-21.6.F. Home businesses are not considered residential uses for these purposes.

³⁴ See §350-21.6.F.



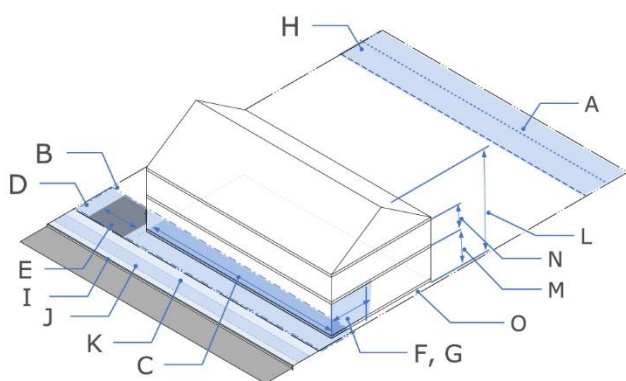
		FV-Center
Building Massing		
	Height	
L	Height (min/max). <u>Minimum may be reduced by PB site plan for buildings that do not front on the public way.</u>	20'/60'
M	Ground Floor Height (min)	14'
N	Upper Floor Height (min)	10'
O	Ground floor elevation (max avg) ⁶⁴	1.5'
	Upper Story Stepback at Front of Lot (maximum building height at front lot line/ required stepback distance from front lot line for additional stories)	45'/10'

		FV-Center
Building Details		
Roof		
P	Maximum Pitched Roof Surface Distance without Variation	100'
Façade		
Q	Vertical Articulation of Bays for Street Facing Facades (min/max length of bays)	6'/50'
R	Contiguous Blank Wall Area, ground floor (max per floor)	85 sq ft
S	Contiguous Blank Wall Area, upper floor (max per floor)	100 sq ft
T	Maximum Distance Between Ground Floor Pedestrian Entrances	40'
Fenestration		
U	% Fenestration, ground floor (min/max)	per Ground Floor Façade Type
V	% Fenestration, upper floors (min/max) when not specified elsewhere	20%/40%

⁶⁴ Civic buildings are exempt from maximum ground floor elevation

C. Table of Character-Based Requirements for Florence Village-General Districts (FV-General)

--	No requirement	PB	Allowed by Special Permit from Planning Board
/	When two numbers are separated by a / symbol, the first number is the minimum requirement, and the second number is the maximum requirement.	CBAC	Central Business Architecture Committee
Y	Allowed by-right. All uses must be registered with the Building Commissioner and comply with all codes. Site Plan Approval is often also required for uses above certain thresholds.	No	Not Allowed
Site	Allowed with Site Plan Approval from Planning Board. Intermediate Site Plan Approval is required unless the project otherwise triggers Major Site Plan Approval.	N/A	Not Applicable



Public Realm Dimensions		FV-General
I	Furnishing and Utility Zone (min)	2'
J	Pedestrian Throughway(min)	5'
K	Lot Frontage Zone (min)	2'

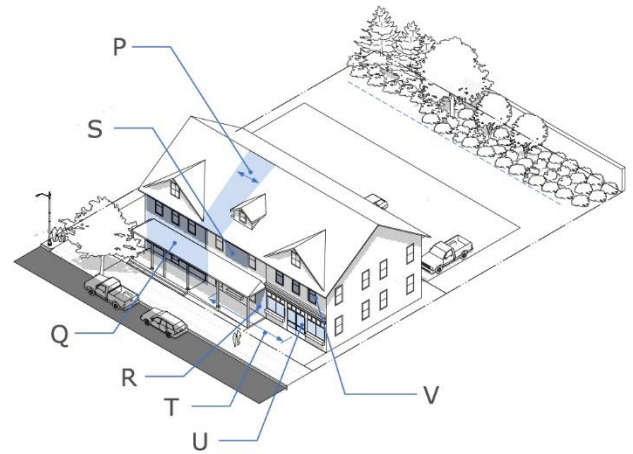
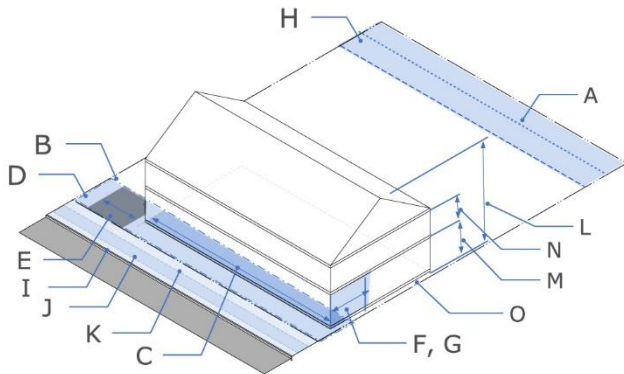
		FV-General
Lot Standards		
	Lot Size (min/max)	--
	Frontage (min/max)	--
	Lot Width	--
	Lot Depth	--
	Side setback (min/max)	--
A	Rear setback (min)	6'
B	Build-To-Zone	5-20'
	Special Permit to Increase Maximum Front Setback	PB
C	Building Frontage Occupancy (min) ⁷⁴	50%
D	Allowed Uses of Lot Frontage Zone ⁷⁵	Building, Landscape Component, Public Realm Component, Driveway (when allowed)
E	Driveway Width in Lot Frontage Zone (max) (when allowed)	24'
	Open Space (min)	5%
F	Ground Floor Use Limitation Area, residential use (min) ⁷⁶	0'-Site
G	Ground Floor Use Limitation Area, parking use (min) ⁷⁷	0' – Site
H	District Transitional Buffer, Width (min)	20'

⁷⁴ See §350-21.6.E

⁷⁵ Subject to other provisions. See§350-21.6.D.

⁷⁶ See §350-21.6.F. Home businesses are not considered residential uses for these purposes.

⁷⁷ See §350-21.6.F.



Building Massing		FV-General
	Height	
L	Height (min/max). <u>Minimum may be reduced by PB site plan for buildings that do not front on a public way</u>	20'/60'
M	Ground Floor Height (min)	12'
N	Upper Floor Height (min)	10'
O	Ground floor elevation (max avg) ⁷⁸	1.5'
	Upper Story Stepback at Front of Lot (maximum building height at front lot line/ required stepback distance from front lot line for additional stories)	45'/10'

Building Details		FV-General
	Roof	
P	Maximum Pitched Roof Surface Distance without Variation	100'
	Façade	
Q	Vertical Articulation of Bays for Street Facing Façades (min/max length of bays)	6'/50'
R	Contiguous Blank Wall Area, ground floor (max per floor)	85 sq ft
S	Contiguous Blank Wall Area, upper floor (max per floor)	100 sq ft
T	Maximum Distance Between Ground Floor Pedestrian Entrances	50'
	Fenestration	
U	% Fenestration, ground floor (min/max)	per Ground Floor Façade Type
V	% Fenestration, upper floors (min/max) when not specified elsewhere	20%/40%

⁷⁸ Civic buildings are exempt from maximum ground floor elevation