

Upon the Recommendation of Mayor Gina-Louise Sciarra & Planning & Sustainability

22.045 AN ORDINANCE RELATIVE TO FORM-BASED ZONING - AMENDMENT TO DEFINITIONS

An Ordinance of the City of Northampton, Massachusetts, providing that the Code of Ordinances, City of Northampton, Massachusetts, be amended to create form-based zoning in downtown Northampton and Florence Center. Such zoning requires modification of many sections of the code including the following sections below.

Be it ordained by the City Council of the City of Northampton, in City Council assembled, as follows:

Amend Chapter 350 2.1 Definitions by modifying

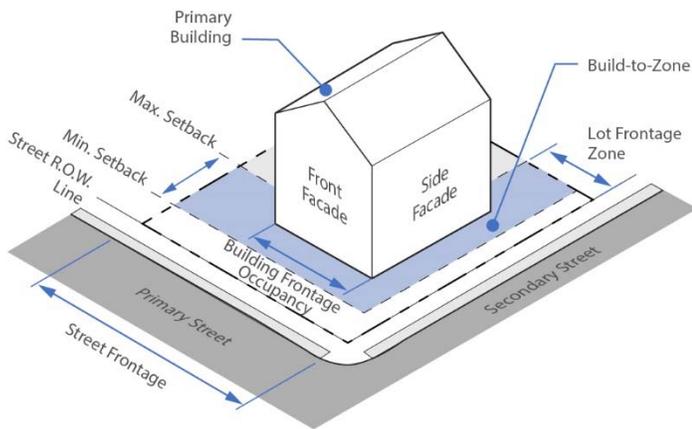
The Definition of height by replacing the existing graphic with this graphic:



And by adding in alphabetical order the following:

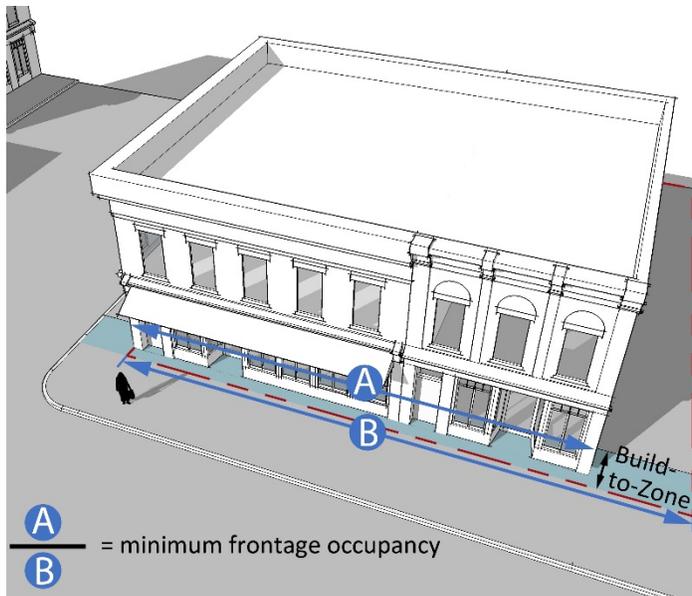
Build-to-Zone: The area between the minimum and maximum front setback lines. The Build-to-Zone is measured perpendicular to the street line of any lot frontage. If the lot is on a street corner, the Build-to-Zone applies to both frontages

(a) Diagram:



Building Frontage Occupancy: a minimum percentage of the width of a lot's street frontage within the Build-To-Zone that must be occupied by a building.

(b) Diagram



Ground Floor Elevation: Ground floor elevation is the height difference between the average top grade of the edge of the sidewalk closest to the front lot line to the top of the finished floor of the ground story of a building.

(c) Diagram



Ground Floor Façade, Civic: A type of ground floor façade that is designed to stand apart from its surroundings due to the special nature of its use as a public facility. A Civic Ground Floor Façade is associated with a civic building which is often among the most prominently sited and architecturally significant in a neighborhood. The design characteristics of a civic ground floor façade vary widely, except that the entrance is typically quite prominent.

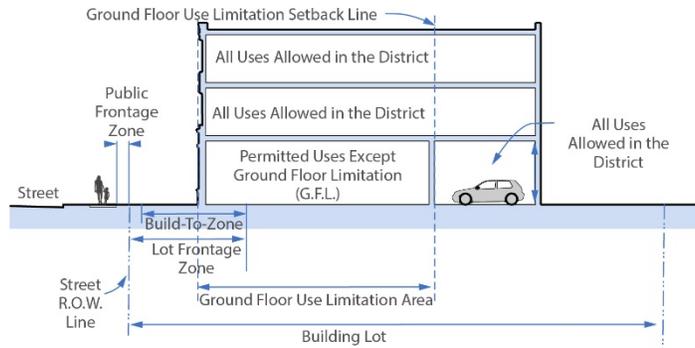
Ground Floor Façade, Commercial: A type of ground floor façade where the building facade is aligned close to the street line or is set back from it a small distance. A commercial-front has substantial glazing on the ground floor, although not as much as is typical of a Storefront. The bottom sills of ground floor windows may be higher than those in storefronts to provide a degree of privacy.

Ground Floor Façade, Storefront: A type of ground floor façade where the building façade is aligned close to or at the Street Line with at-grade entries for each ground level use. This type is commonly associated with retail, service or hospitality uses. It is predominantly glazed and includes a high level of design detail. It may include an awning or canopy that may encroach into the Public Frontage Zone or Pedestrian Throughway Zone.

Ground Floor Façade, Residential: A type of ground floor façade where the building facade is set back from the street line with an intervening porch, stoop/ramp, or portico providing a transition between the public realm and the private realm. A residential façade is often elevated above the adjacent public realm. It includes at least one pedestrian entrance. This type is commonly associated with residential use, but may also be used for commercial uses, especially in locations where commercial and residential uses are in close proximity. A residential facade has a moderate level of glazing.

Ground Floor Use Limitation Area: The front portion of the ground floor of a building that is subject to limitations on allowed uses.

(d) Diagram

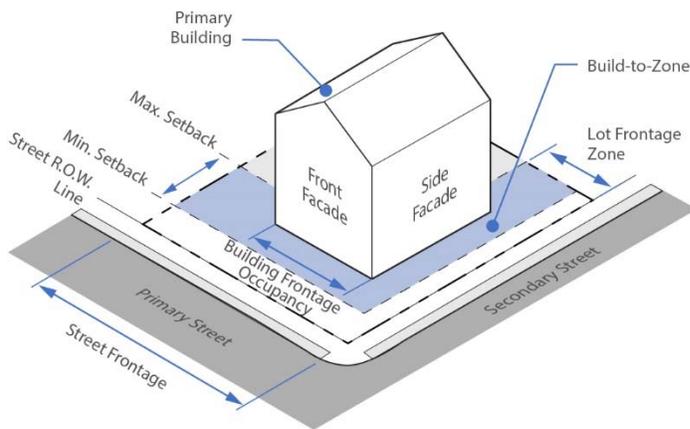


Principal Entrance Spacing Requirement. The maximum number of feet allowed between principal ground floor entrances on a street-facing façade of a building.

Public Realm Zone, Furnishing and Utility Zone: The furnishing and utility zone is the area of the sidewalk where pedestrians might pause or rest on benches or cafe seating and where many of the utilities, like lighting and hydrants, are located. This is the area typically planted with street trees. The furnishing and utility zone varies in width.

Public Realm Zone, Lot Frontage Zone: The Lot Frontage Zone is made up of the combination of the Build-to-Zone and the area (if any) between the front lot line (also known as the street line) and the minimum front setback. The lot frontage zone is measured from the street line of any lot frontage. If the lot is on a street corner, the Lot Frontage Zone applies to both frontages.

(e) Diagram:



Public Realm Zone, Pedestrian Throughway Zone: The Pedestrian Throughway Zone is the primary portion of the sidewalk used for active movement and travel by pedestrians.

Public Realm Zone, Public Frontage Zone : The Public Frontage Zone is the area between the Pedestrian Throughway and the front lot line. The size and character of the Public

Frontage Zone varies widely depending on context. On narrow streets, the Public Frontage Zone may be absent. On wide streets, the Public Frontage Zone provides a transitional space for people who are entering or exiting a building or pausing to read a menu or peer through a shop window. The materials and design of the Public Frontage Zone is often indistinguishable from the Pedestrian Throughway or the Lot Frontage Zone. The zones differ in their functions and the public realm components they can accommodate.

Public Realm Zone, Vehicle Throughway: The vehicle throughway is the area of the public right of way that is dedicated to multiple modes of vehicular traffic.

Roof, Flat: A roof with no slope greater than 2:12.

Roof, Gable: A roof sloped on two sides from a central ridge with an exterior wall (gable) enclosing each end.

Roof, Gambrel: A compound, gabled roof with two slopes on each of its sides, where the lower has a steeper slope or pitch than the upper, inclusive of English, Dutch, and Jerkin Head gambrel roofs.

Roof, Hip: A roof with four uniformly pitched or sloping sides, inclusive of kicked hip (witch's hat) and Hawaiian hip roofs.

Upper Story Stepback: a requirement that the front façade of the upper floor(s) of a building must be retracted further from the front lot line than the front façade of lower stories of a building.

Visible Light Reflectance (VLR): The percent of total visible light that is reflected by a glazing system. The lower the number, the less visible light reflected.

Visible Light Transmittance (VLT): The percent of total visible light that is transmitted through a glazing system. The lower the number, the less visible light transmitted.